

LOCUS MAP:



PROJECT TEAM:

OWNER/DEVELOPER:

E3 DEVELOPMENT LLC
40 Homer Street
Newton, MA 02459

LANDSCAPE ARCHITECT:

Deborah Myers Landscape Architecture, LLC
60 Glen Road #108
Brookline, MA 02445

CIVIL ENGINEER:

Joyce Consulting Group
100 Wyman Road
Braintree, MA 02184

ARCHITECT:

Placetaylor
103 Terrace Street
Boston, MA 02120



VIEW LOOKING WEST

Tufts Street Pocket Park

31 Tufts Street,
Somerville, MA

E3 Development SITE PLAN APPROVAL SUBMISSION - MAY 26, 2021

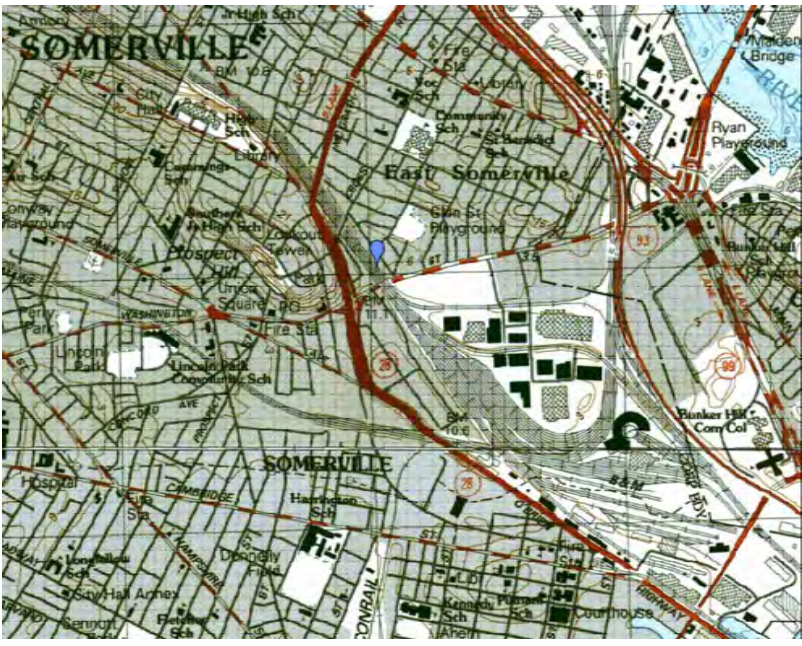
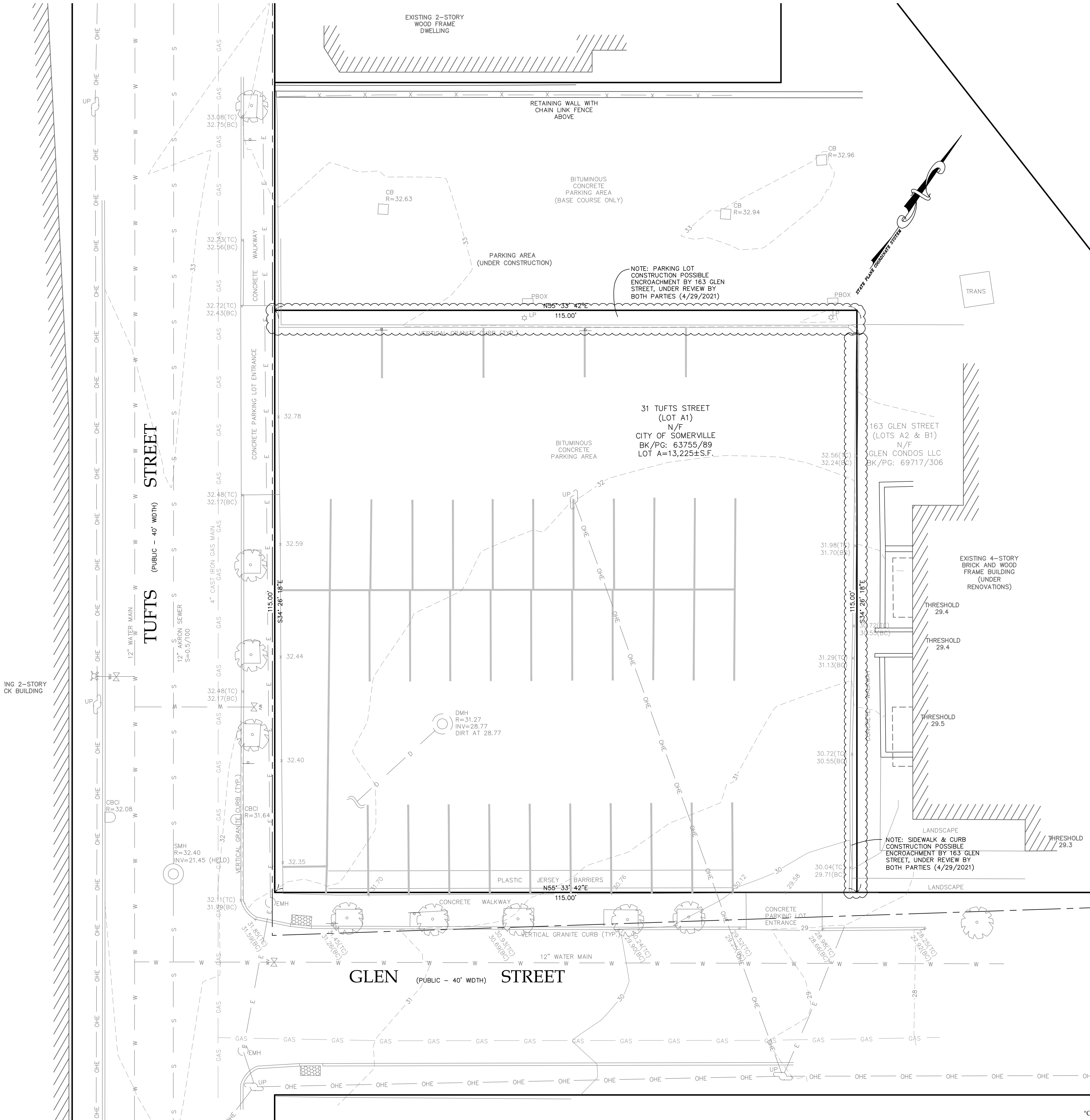
DRAWING LIST

Civil

EX-01	Existing Conditions Plan
PR-01	Proposed Plot Plan
C-001	Site Utility Plan
C-002	Site Utility Details

Landscape

L-001	Rendered Site Plan
L-101	Layout and Materials Plan
L-201	Grading Plan
L-301	Planting Plan
L-401	Site Photometric Plan
L-501	Site Details
L-502	Site Details



PLAN REFERENCE:
MIDDLESEX COUNTY REGISTRY OF DEEDS
PLANS: DEEDS:
PLAN 195 OF 2016 BK/PG: 63755/89
PLAN 397 OF 1961 BK/PG: 69717/306
PLAN 1365 OF 1963
PL BK/PG 144/26
LAYOUT - TUFTS STREET 3/31/1862
CITY OF SOMERVILLE RECORDS:
PL 2077 POCKET 13, FOL 2
PL 2099 POCKET 13, FOL 2
PL 2116 POCKET 13, FOL 2
PL 2137 POCKET 13, FOL 2
PL 2204 POCKET 13, FOL 2
PL 2525 POCKET 13, FOL 4
4571-R-2
5806-R-4
8092-R-2
12017-R
BK49A PG 74-83
BK96 PG 196-203

- GENERAL NOTES
1. SITE FEATURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED ON A INSTRUMENT LAND SURVEY BY JOYCE CONSULTING GROUP IN JULY OF 2020, A COMPILATION OF RECORD PLANS, PLANS ACQUIRED FROM UTILITY PROVIDERS AND AERIAL IMAGERY.
 2. LOCATION OF SUBSURFACE UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT DIG SAFE AT 1-888-DIGSAFE AT LEAST 72 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 3. VERTICAL ELEVATIONS SHOWN CORRELATE TO CITY OF SOMERVILLE VERTICAL DATUM.
 4. BEARINGS SHOWN ARE MASSACHUSETTS STATE PLANE COORDINATES.
 5. LOCUS LIES IN F.I.R.M. ZONE X AS SHOWN ON COMMUNITY PANEL NO. 2501700459E DATED JUNE 4, 2010.
 6. THE FIELD SURVEY CONDUCTED IN JULY 2020 IDENTIFIED TWO AREAS OF POSSIBLE ENCROACHMENT BY THE 163 GLEN STREET PROPERTY, AS NOTED ON THE SURVEY PLAN. E3 DEVELOPMENT, THE DEVELOPER OF 31 TUFTS STREET, IS WORKING WITH 163 GLEN STREET TO RECTIFY THE ENCROACHMENT VIA RECONSTRUCTION OR EASEMENT. WHEN WORK IS COMPLETE, SURVEY PLAN MAY BE UPDATED.

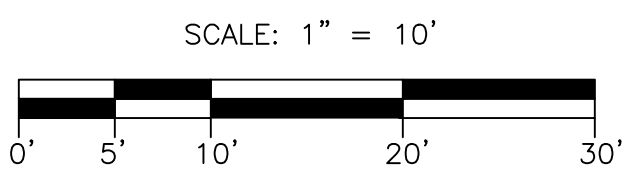
PLAN PREPARED FOR:
E3 DEVELOPMENT, LLC.
40 HOMER STREET
NEWTON, MA 02459

LEGEND

W	EX. WATER	WV	WATER VALVE
S	EX. SEWER	HYD	HYDRANT
D	EX. DRAIN	SMH	SEWER MANHOLE
E	EX. ELECT	TMH	TELEPHONE MANHOLE
T	EX. TEL	CB	EX. CATCH BASIN
G	EX. GAS	HH	EX. HANDHOLE
LP	EX. LIGHT POLE	UP	UTILITY POLE
DMH	DRAIN MANHOLE	GV	GAS VALVE
EMH	ELECTRIC MANHOLE		
VGC	VERTICAL GRANITE CURB		
FGC	FLUSH GRANITE CURB		
GRW	CONCRETE RETAINING WALL		



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PROJECT: **31 TUFTS**
PROJECT ADDRESS: **STREET 31 TUFTS**
TAX ASSESSOR PARCEL #: **---**
ARCHITECT: **PLACETAILEOR, INC.**
103 TERRACE STREET
ROXBURY, MA 02120
CONSULTANTS
SURVEYOR / CIVIL ENGINEER
JOYCE CONSULTING GROUP, PC
439 WASHINGTON STREET
THIRD FLOOR
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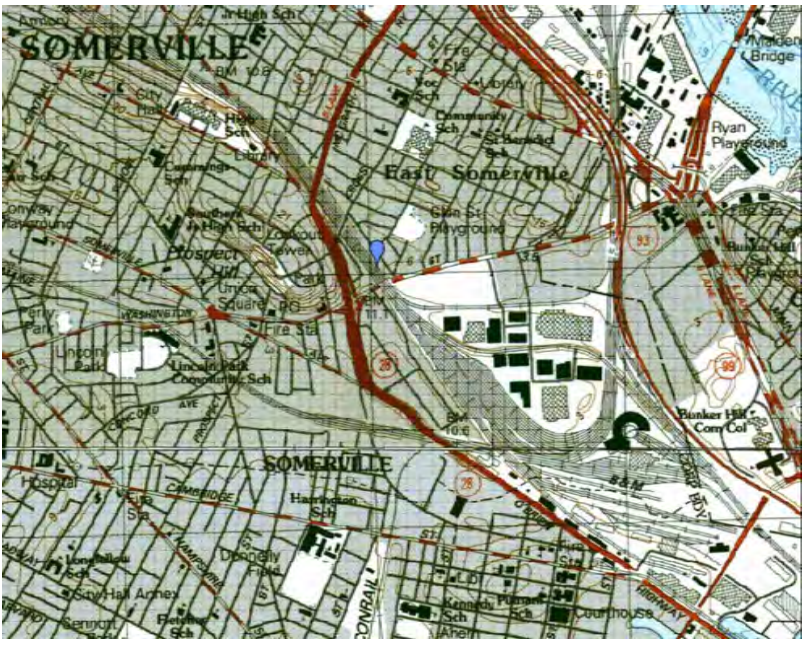
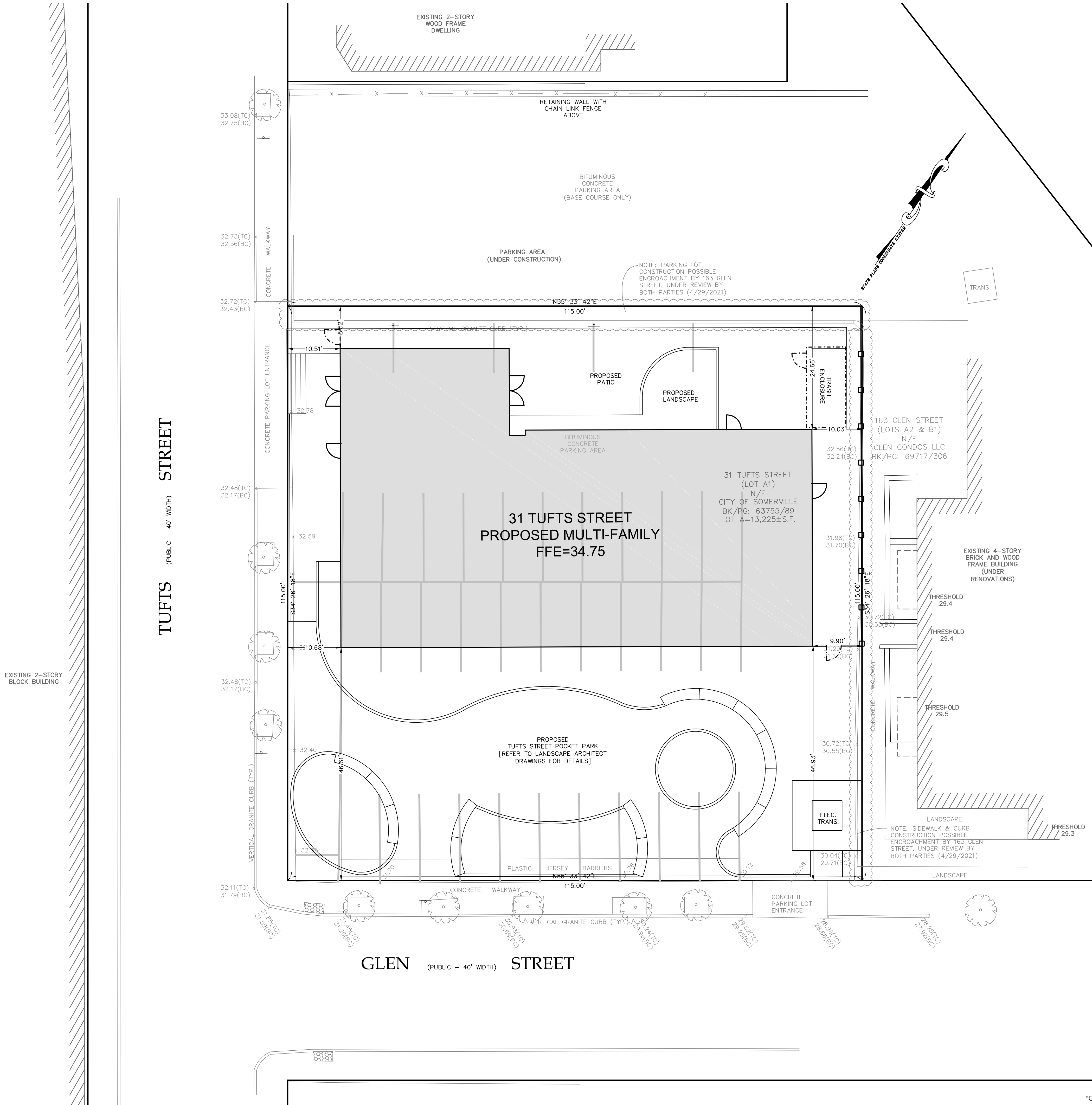
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EXISTING CONDITIONS PLAN

EX001



USGS LOCUS: 31 TUFTS STREET - SOMERVILLE, MA

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MIDDLESEX COUNTY REGISTRY OF DEEDS
PLANS: DEEDS:
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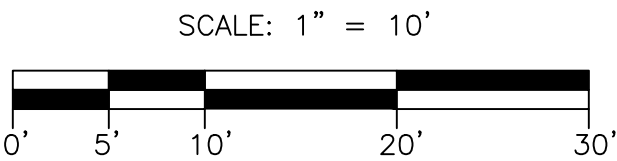
PLAN PREPARED FOR:
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LEGEND

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— S	EX. SEWER	HY	HYDRANT
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TUFTS
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ARCHITECT: PLACETAILOR, INC.
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PROPOSED PLOT
PLAN

PR01



1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, UTILITY LOCATIONS, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED "EXISTING CONDITIONS SURVEY 31 TUFTS STREET, SOMERVILLE, MA", PREPARED BY JOYCE CONSULTING GROUP, PC DATED JULY 2020.
2. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY UTILITY CONNECTIONS OR CROSSINGS OF PROPOSED UTILITIES AND EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JOYCE CONSULTING GROUP, PC.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
4. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE CITY OF SOMERVILLE. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PERMITS AND APPROVALS ARE OBTAINED BEFORE STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS FOR AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OF ANY UTILITIES OR WITHIN THE JURISDICTION OF ANY UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS, AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 48 HOURS AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION. CONSTRUCTION SHALL NOT INTERFERE WITH OR INTERRUPT UTILITIES WHICH ARE TO REMAIN IN OPERATION.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
6. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE CITY OF SOMERVILLE PUBLIC WORKS DEPARTMENT.
7. GAS, TELEPHONE, ELECTRIC, AND CABLE SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH ELECTRIC, CABLE TELEVISION AND TELECOMMUNICATION UTILITIES.
8. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET.
9. MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. ENCASE BOTH UTILITIES WITH CONCRETE IF 10 FEET SEPARATION CANNOT BE MAINTAINED. HOWEVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18" OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN, BOTH UTILITIES SHALL BE ENCASED IN CONCRETE.
10. UTILITY STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 3 FEET BELOW FINISHED GRADE, THE BOTTOMS OF THE STRUCTURES SHALL BE BROKEN AND THE STRUCTURES SHALL BE BACKFILLED WITH GRAVEL BORROW AND COMPACTED.
11. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED & DISPOSED.
12. ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.



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SCALE: 1" = 10'

A horizontal graphic scale bar with alternating black and white segments. The segments are labeled 0', 5', 10', 20', and 30' at the bottom. The bar is divided into six equal segments of 5 feet each.

PROJECT: **31**
TUFTS

PROJECT ADDRESS:	STREET 31 TUFTS
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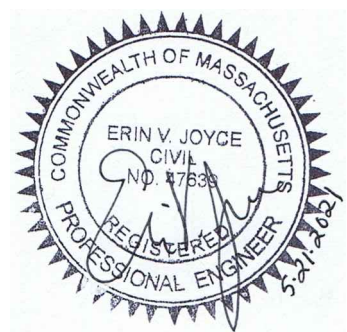
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SUBMISSION DATE: **05/21/2021**

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SITE UTILITY PLAN

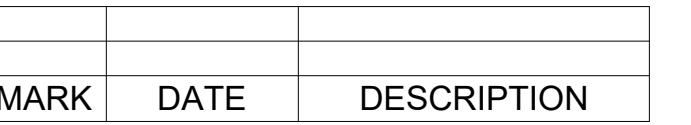
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CONSULTANTS

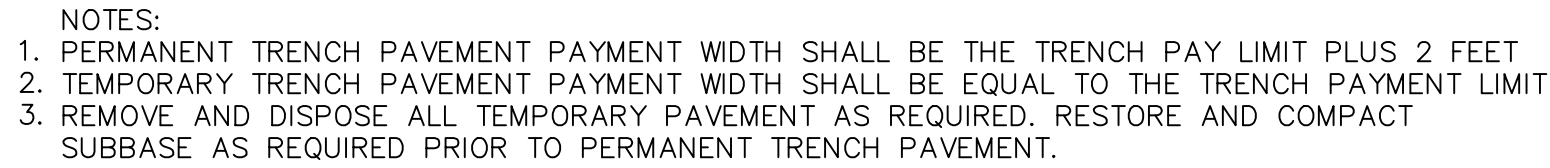
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SITE UTILITY DETAILS

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This diagram illustrates the connection of a 12-inch or 24-inch service line to a water main. The service line is shown as a vertical pipe with a tee head at the top, which connects to a horizontal main tube. The main tube is shown with a main tube shoe at the bottom. The connection is made using a corporation stop and direct iron. The diagram also shows the street surface, roadway cover, street base, curb stone, and sidewalk. A note specifies that 12-inch and 24-inch service requires a corporation stop only at the main and shall be provided with roadway box at surface.

Labels in the diagram include:

- STREET SURFACE
- ROADWAY COVER
- STREET BASE
- MAIN TUBE
- TEE HEAD
- MAIN TUBE SHOE
- WATER MAIN
- CORPORATION STOP
- DIR. IRON
- 5'-6" APPROXIMATELY
- CURB STONE
- SIDEWALK

NOTE: 12" AND 24" SERVICE REQUIRES A CORPORATION STOP ONLY AT THE MAIN AND SHALL BE PROVIDED WITH ROADWAY BOX AT SURFACE.

The diagram illustrates a cross-section of a stormwater management structure, showing the flow path from the surface down into a storage and filtration chamber. The structure is composed of several layers and components:

- Top Surface:** Roads, road shoulders, and driveways lead to a 24" catch basin style frame and grate with a rim height of 30.1±.
- Internal Structure:** A precast concrete flat slab or concentric cone section forms the main body. It features a 24" opening at the top and a 6" drywell at the bottom. The interior is filled with 2" of 3/8" - 1/2" washed stone, topped with an 8" HDPE drain (inverted) at an elevation of 28.0. The face of the pipe is flush or not more than 4" from the wall along the centerline.
- Base Course:** A base course of bituminous concrete (BIT. CONC.) is located below the precast concrete slab.
- Surrounding Layers:** The structure is surrounded by a geotextile fabric surround, which is in turn surrounded by 3/4" - 1 1/2" washed stone. The entire structure is set in a full cement mortar bed.
- Gravel Borrow:** The structure is surrounded by a layer of gravel borrow (MassDOT M1.03.0 type "b") compacted in 6" layers.
- Finish Grade:** The finish grade is indicated by a dashed line.
- Bottom Structure:** The bottom structure is at an elevation of 24.5.
- Dimensions:** The structure has a 24" opening at the top and a 6" drywell at the bottom. The overall width is 12" on all sides.
- Labels:** Labels include "CROSS COUNTRY", "ROADS, ROAD SHOULDERS, DRIVEWAYS AND WALKS", "FRAME TO BE SET IN FULL CEMENT MORTAR BED", "SURFACE COURSE BIT. CONC.", "BASE COURSE BIT. CONC.", "PRECAST CONCRETE FLAT SLAB OR CONCENTRIC CONE SECTION", "24\" CATCH BASIN STYLE FRAME AND GRATE RIM=30.1±", "FINISH GRADE", "MORTAR (TYP.)", "24\" OPENING", "2\" OF 3/8\" - 1/2\" WASHED STONE", "8\" HDPE DRAIN, INV.=28.0", "FACE OF PIPE FLUSH OR NOT PROJECT MORE THAN 4\" FROM FACE OF WALL ALONG CENTERLINE OF PIPE", "BOTTOM STRUCTURE ELEV= 24.5", "6\" DRYWELL", "UNSATURABLE MATERIAL TO BE REMOVED AND REPLACED W/ GRAVEL BORROW (MassDOT M1.03.0 TYPE \"b\") COMPACTED IN 6\" LAYERS", "3/4\" - 1 1/2\" WASHED STONE", "GEOTEXTILE FABRIC SURROUND", and "12\" ON ALL SIDES".

Diagram illustrating the installation of a tapping gate valve for a water main, showing the connection from the street surface down to the existing water main.

Labels and components shown:

- STREET SURFACE
- SIDEWALK
- LIMIT OF TRAVELED WAY
- PROPERTY LINE
- BWS STANDARD VALVE BOX AND COVER
- ACCESS TUBE
- MASONRY RING
- MECHANICAL JOINT TAPPING GATE VALVE
- 4" OR 6" DUCTILE IRON CLASS 56 AND ZINC COATED
- EXISTING WATER MAIN
- TAPPING SLEEVE
- MECHANICAL JOINTS

Dimension: 5'-6" APPROXIMATELY

NOTES:

- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHEN CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

12" DROP-IN GRATE
RIM=SEE PLAN

12" NDS
CATCH BASIN
WITH 12"
FRAME AND
GRATE

12" (MIN.) COMPACTED
GRAVEL BORROW
PLACED AND UNIFORMLY COMPACTED
IN 12" LIFTS

6" INV OUT

PROVIDE 6" MIN SUMP
BELOW OUTLET INVERT

NOTE:

NOTE:
CATCH BASIN FRAME AND GRATE TO BE
MANUFACTURED BY IRON AGE DESIGN.
GRATE SHALL BE 'OBILO' 12"x12" HEEL
PROOF CATCH BASIN GRATE, OR
APPROVED EQUAL.

AREA DRAIN -12" DRAIN BASIN

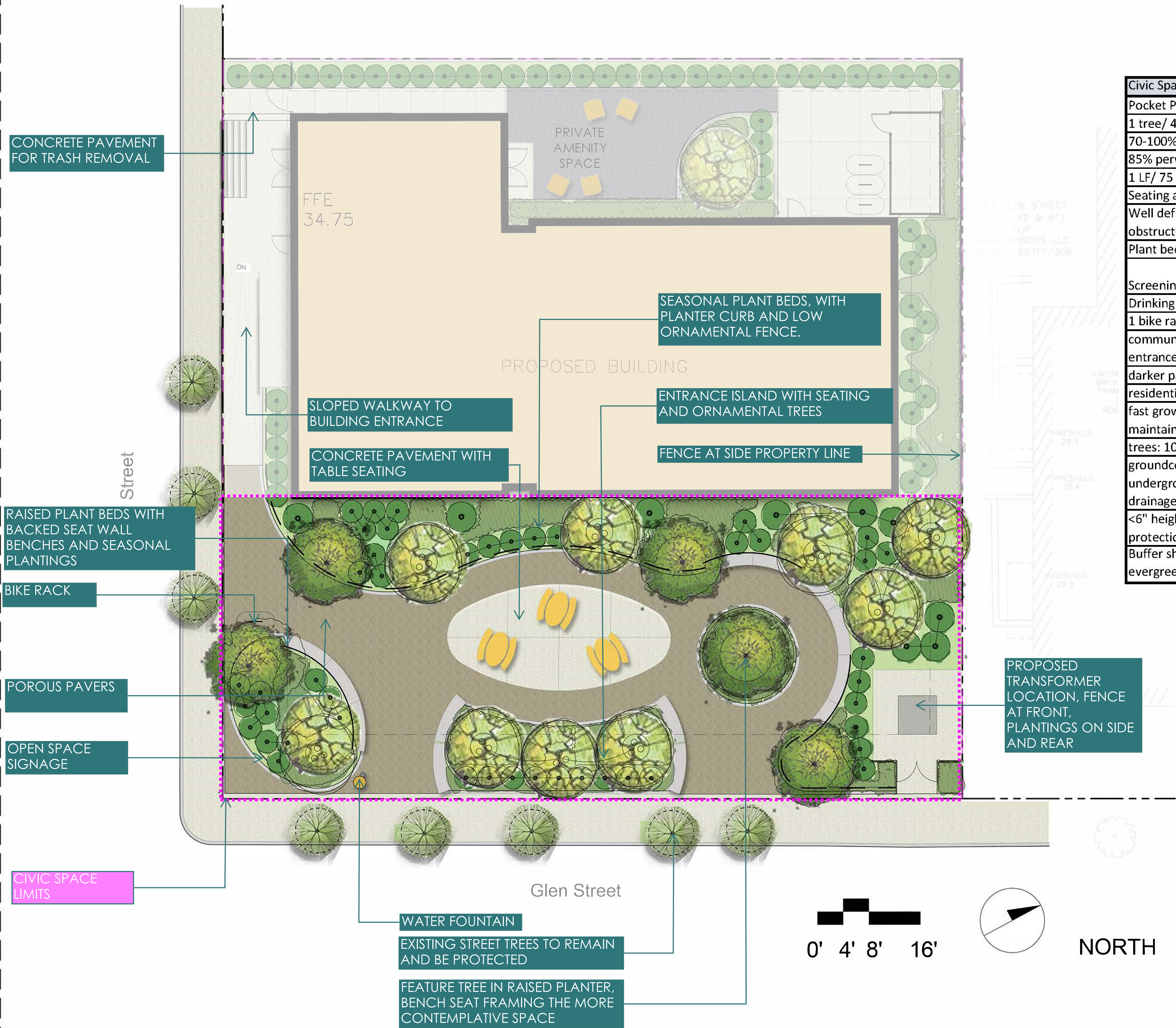
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MARK	DATE	DESCRIPTION

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SITE UTILITY DETAILS

C002



Civic Space Zoning Compliance	Requirements	Proposed Park
Pocket Park Lot Size		5360 sq.ft.
1 tree/ 400 SF	13.25 trees	15
70-100% landscape	3710	4520
85% pervious SF	4505	4520
1 LF/ 75 SF Benches	70 LF	104 LF
Seating at entrance		yes
Well defined entry no visual obstructions		yes
Plant beds have raised edges		yes
Screening from residential areas		yes
Drinking fountain near entrance		yes
1 bike rack	1	1
community bulletin board near entrance		no
darker paving color		yes
residential units screened		yes
fast growing, resilient, easily maintained plantings		yes
trees: 10' tall or 2" cal minimum		yes
groundcover: <6" height within underground or overhead utility or drainage		yes
<6" height within 3' of fire protection systems		yes
Buffer shrubs at least 5 gal and 75% evergreen		yes



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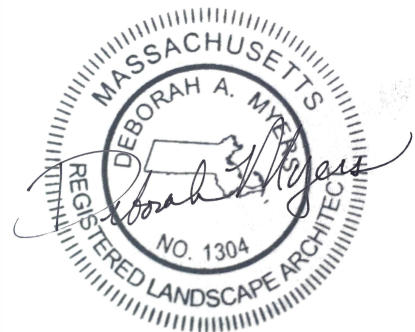
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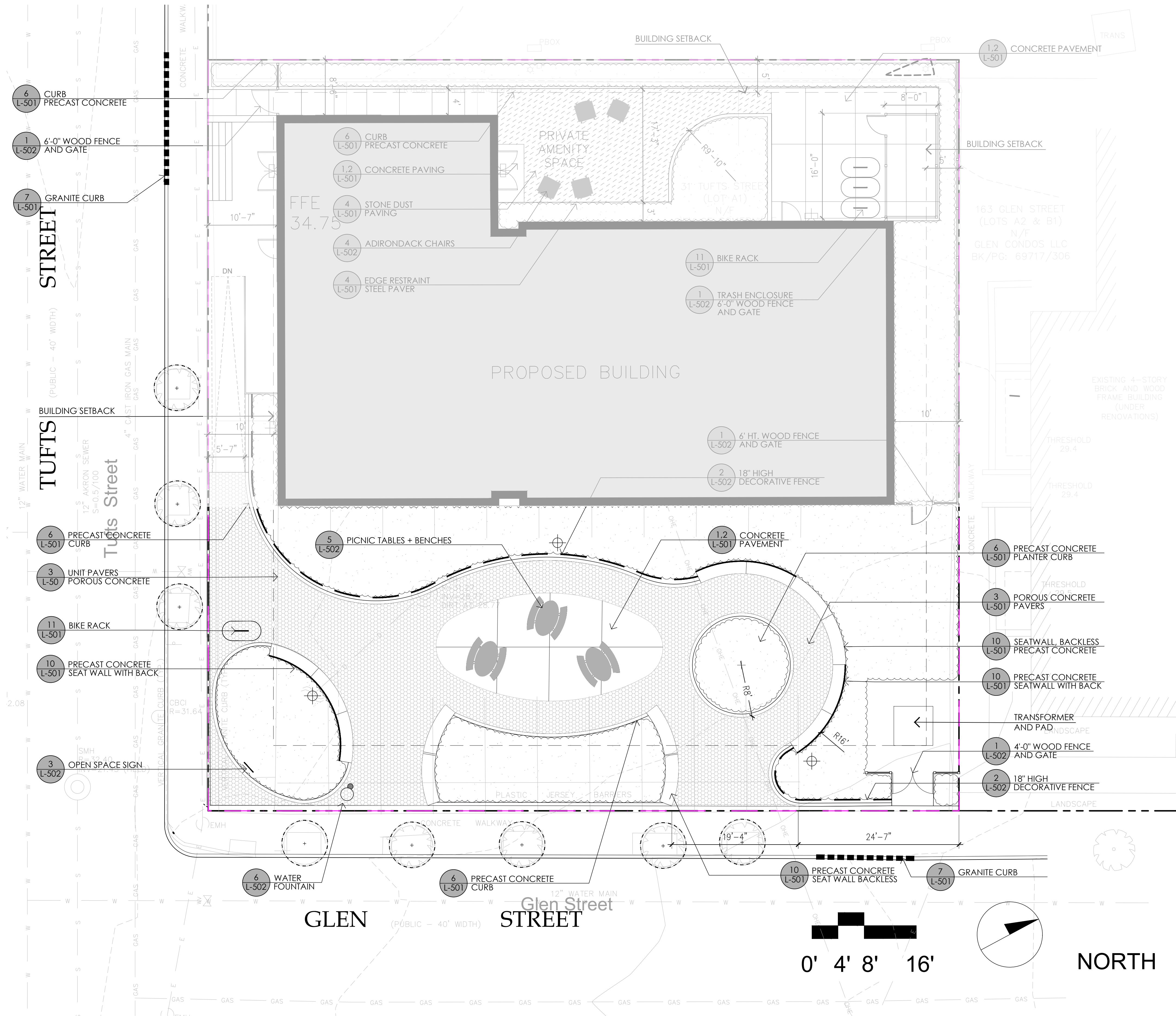
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RENDERED SITE PLAN

L001



- LAYOUT AND MATERIAL NOTES
- EXISTING CONDITIONS INFORMATION IS A COMPILED SURVEY PREPARED BY JOYCE CONSULTING GROUP, PC, BRAINTREE, MA, ON JULY 1, 2020.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
 - CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
 - ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.

LAYOUT AND MATERIALS LEGEND

PROPERTY LINE	---	LANDSCAPED AREA, REFER TO PLANTING PLAN	[Symbol]
LIMIT OF WORK	---	CONCRETE PAVING	[Symbol]
GRADE BREAK	---	UNIT PAVERS, TYP.	[Symbol]
GRANITE CURB	---	STONE DUST PAVING	[Symbol]
CONCRETE PLANTER CURB	---	WALL LIGHT	[Symbol]
6'-0" HIGH PERFORATED METAL FENCE AND GATE	---	POST LIGHTS	[Symbol]
18" HIGH DECORATIVE METAL FENCE	---	PUBLIC STREET POLE LIGHTS	[Symbol]
PRECAST CONCRETE BENCH WITH BACK	[Symbol]		
PRECAST CONCRETE BENCH, BACKLESS	[Symbol]		
PICNIC TABLE AND BENCH	[Symbol]		
ADIRONDACK CHAIR	[Symbol]		
WATER FOUNTAIN	[Symbol]		
BIKE RACK	[Symbol]		



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PROJECT ADDRESS: **STREET 31 TUFTS**

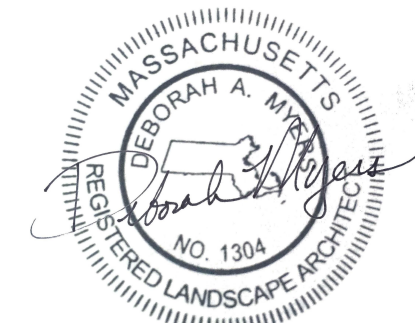
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THIRD FLOOR
BRAintree, MA 02184



CLIENT **E3 DEVELOPMENT, LLC**
40 HOMER STREET
NEWTON, MA 02459



MARK	DATE	DESCRIPTION
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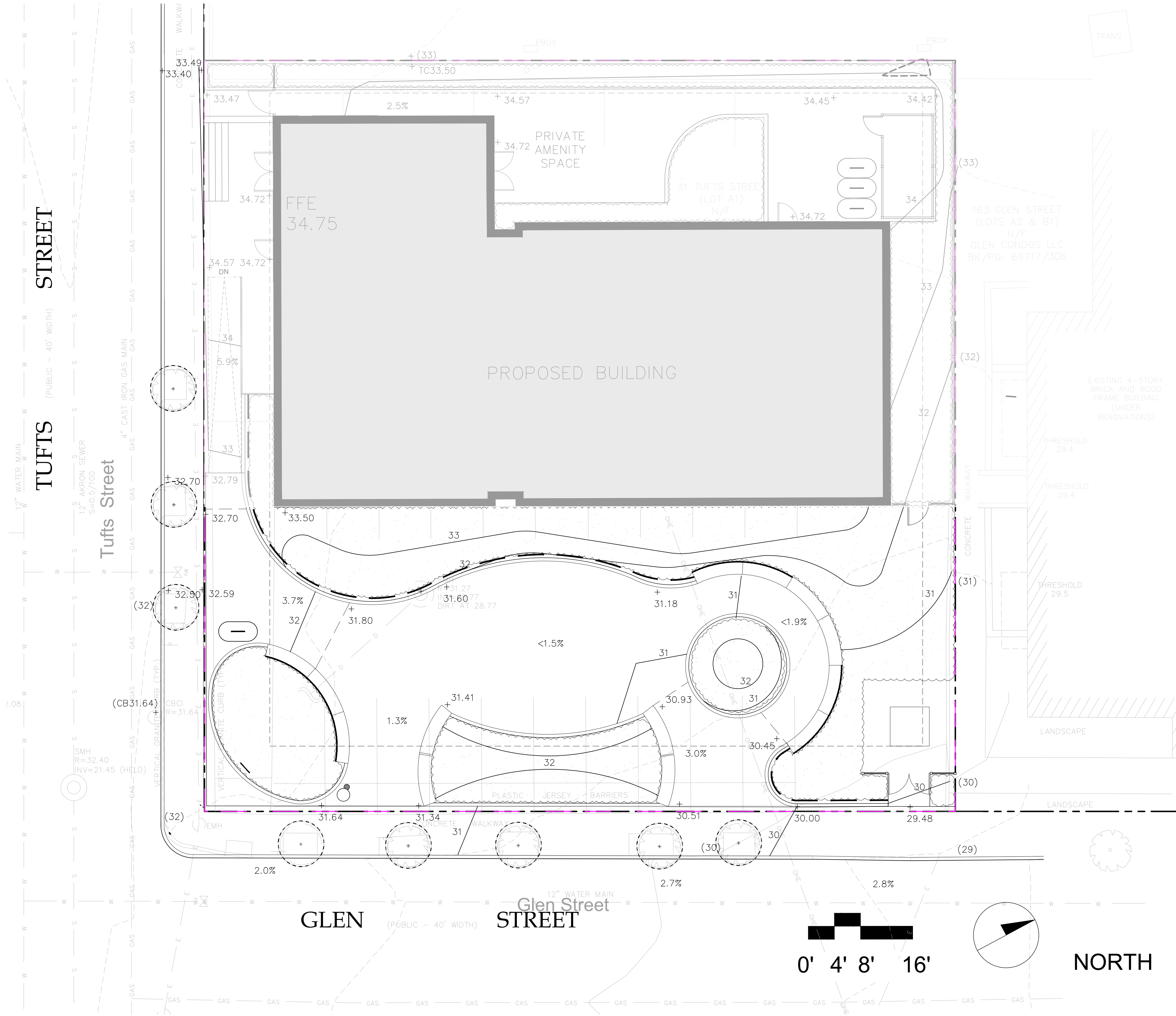
SUBMISSION DATE: **05/26/2021**

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LAYOUT AND MATERIALS PLAN

L101



GRADING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE COMPILED EXISTING CONDITIONS PLAN OF LAND PREPARED BY JOYCE CONSULTING, PC, BRAINTREE, MA, DATED JULY 1, 2020.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE CIVIL ENGINEER, AND LANDSCAPE ARCHITECT FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: TRAFFIC SIGN POLES, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED, REFER TO CIVIL DRAWINGS.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL MEET THE REQUIREMENTS OF 521 CMR OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL GRADES ON WALKWAYS, RAMPS, CURB CUTS, AND PARKING AREAS AS DEFINED BY 521 CMR SHALL COMPLY WITH THE MAXIMUM ALLOWABLE GRADES. GRADES SHALL BE MEASURED AT TWO FOOT INTERVALS. CROSS SLOPES ON ALL WALKS, PATHS OF TRAVEL, AND ACCESSIBLE ROUTES AS DEFINED IN 521 CMR SHALL NOT EXCEED 1.5%. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE BETWEEN THE ACTUAL GRADES SHOWN ON THE PLANS AND THE MAXIMUM ALLOWABLE GRADES INDICATED IN 521 CMR.
- ALL WALKWAYS SHALL BE GRADED TO A MAXIMUM 4.5% RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL). THE CROSS PITCH OF ALL WALKWAYS, PATHS, AND PLAZAS SHALL NOT EXCEED 1.5% (PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE SLOPE OF ALL RAMPS AND SIDE SLOPES OF HANDICAP CURB CUTS AS DEFINED BY SECTION 21.1 OF 521 CMR SHALL BE CONSTRUCTED AT 7.5% MAXIMUM. RAMPS AS DEFINED IN SECTION 24.1 OF 521 CMR SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 7.5%.

GRADING LEGEND

PROPERTY LINE	---
LIMIT OF WORK LINE	----
PROPOSED 1 FOOT CONTOURS	90
PROPOSED SLOPE DIRECTION	1.0% →
EXISTING SPOT GRADE	+ (74.70) (74.70)
PROPOSED SPOT GRADE	+ 74.70
PROPOSED GRADE BRAKE	



PROJECT: **31 TUFTS**

PROJECT ADDRESS: **STREET 31 TUFTS**

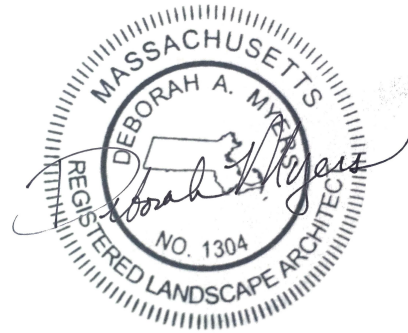
TAX ASSESSOR PARCEL #: **---**

ARCHITECT: **PLACETAILOR, INC.**
103 TERRACE STREET
ROXBURY, MA 02120

CONSULTANTS
SURVEYOR / CIVIL ENGINEER
JOYCE CONSULTING GROUP, PC
439 WASHINGTON STREET
THIRD FLOOR
BRAINTREE, MA 02184



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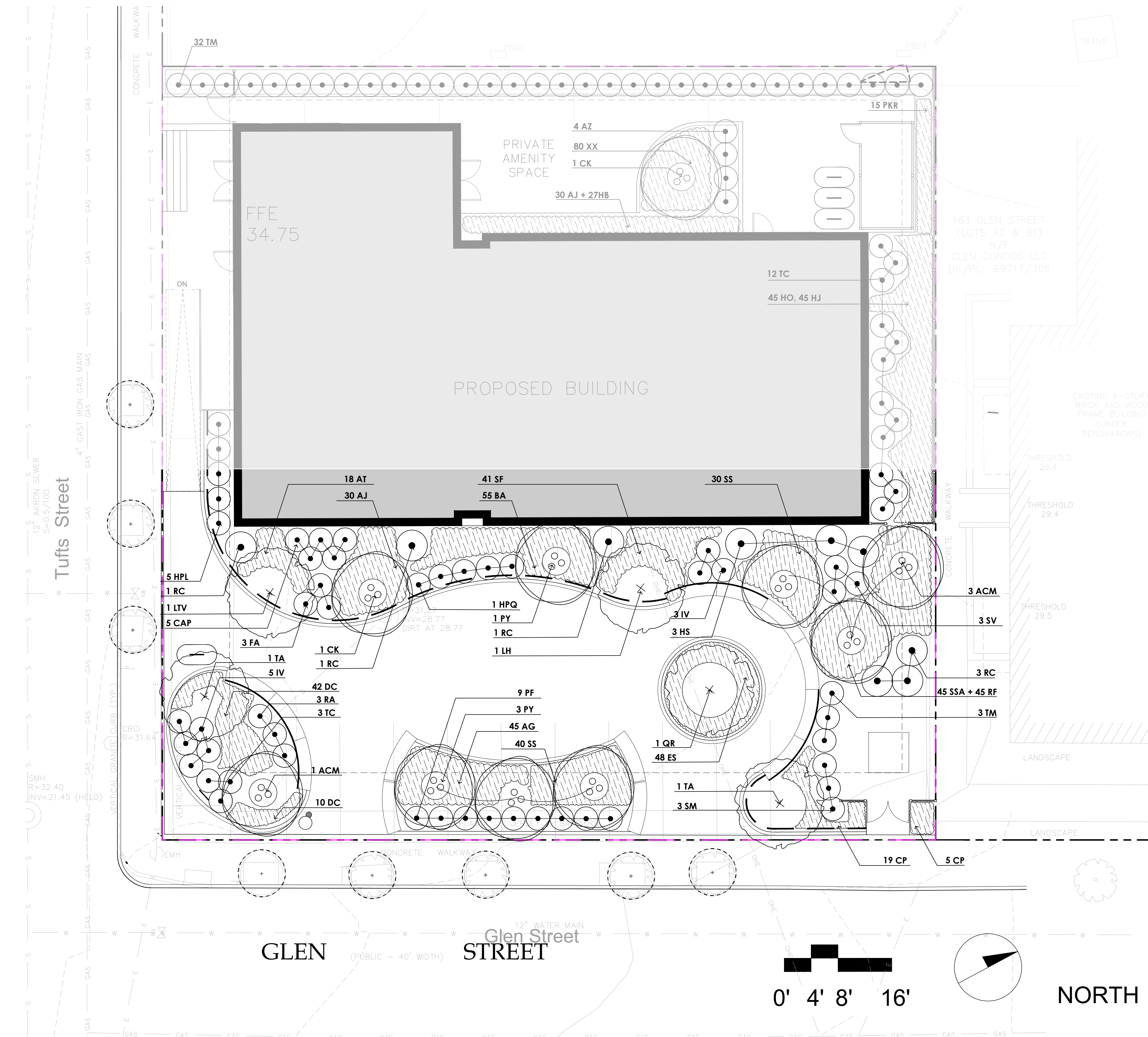
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GRADING PLAN

L201



PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE COMPILED EXISTING CONDITIONS PLAN OF LAND PREPARED BY CAMERON ASSOCIATES, INC IN NORWOOD, MA AND DATE 02/04/2021.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- FINAL LAYOUT OF PLANTINGS WILL BE IN THE FIELD PER THE DIRECTION OF THE LANDSCAPE ARCHITECT, PROVIDE A MINIMUM FORTY-EIGHT (48) HOURS NOTICE PRIOR TO BEGINNING FINAL LAYOUT AND PLANTING OPERATIONS.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- ALL PLANTED AREAS TO BE EDGED AND MULCHED WITH AGED PINE BARK: PARTIALLY DECOMPOSED, JET BLACK IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: UTILIZE EXISTING SITE LOAM FROM STOCKPILES, THOROUGHLY INCORPORATE WITH COMPOST AS NEEDED PER SOILS ANALYSIS. FERTILIZE PER RECOMMENDED RATES IN SOIL ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL UNLESS OTHERWISE NOTED.

PLANTING LEGEND

PROPERTY LINE	
DECIDUOUS TREE	
ORNAMENTAL TREE	
SHRUB PLANTING	
GROUND COVER AND PERENNIALS	

PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
DECIDUOUS TREES					
QR	QUERCUS RUBRA	RED OAK	1	3-3.5 CAL.	SINGLE STEM
LH	LIQUIDAMBAR 'HAPPIDAZE'	HAPPIDAZE SWEET GUM	1	3-3.5 CAL.	
LTV	LIRIODENDRON TULIP, 'LITTLE VOLUNTEER'	LITTLE VOLUNTEER TULIP TREE	1	3-3.5 CAL.	
TA	TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	2	3-3.5 CAL.	
ORNAMENTAL TREES					
ACM	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	4	3-3.5 CAL.	MULTI-STEM
CK	CORNUS KOUSA	KOUSA DOGWOOD	2	3-3.5 CAL.	SINGLE-STEM
PY	PRUNUS X YEDENSIS 'YOSHINO'	YOSHINO CHERRY	4	3-3.5 CAL.	SINGLE-STEM
SHRUBS					
AZ	AZALEA 'GIBRALTAR'	GIBRALTAR AZALEA	3	2.5' HT	#5 CONTAINER
CAP	CLETHRA ALNIFOLIA 'PINK SPIRES'	PINK SPIRES SUMMERSWEET	5	2.5' HT	#5 CONTAINER
FA	FORSYTHIA 'ARNOLD DWARF'	FORSYTHIA ARNOLD DWARF	3	2.5' HT	#5 CONTAINER
HPL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	5	2.5' HT	#7 CONTAINER
HPQ	HYDRANGEA PANICULATA 'QUICKFIRE'	QUICK FIRE HYDRANGEA	5	2.5' HT	#7 CONTAINER
HS	HIBISCUS SYRIACUS	ROSE OF SHARON	3	3-4 HT/ HEAVY	#10 CONTAINER
IV	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	8	2.5' HT	#5 CONTAINER
PF	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	9	2.5' HT	#5 CONTAINER
RA	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	3	1.5' HT	#5 CONTAINER
RC	RHODODENDRON CATAWBIENSE	CATAWBA RHODODENDRON	6	2.5' HT	#10 CONTAINER
SM	SYMPHORICARPOS MARIEDOKRENBOSII 'CORALBERRY'	SNOWBERRY	3	4' HT	
SV	SYRINGA VULGARIS 'SENSATION'	COMMON LILAC	3	3-4 HT/ HEAVY	#10 CONTAINER
SVA	SYRINGA VULGARIS 'ANGEL WHITE'	ANGEL WHITE LILAC	3	3-4 HT/ HEAVY	
TC	TAXUS CUSPIDATA 'NANA'	NANA JAPANESE YEW	15	2.5' HT	#5 CONTAINER
TM	TAXUS MEDIA 'SENTINALIS'	SENTINEL YEW	35	2.5' HT	#5 CONTAINER
GROUND COVER, PERENNIALS, AND ORNAMENTAL GRASSES					
AG	AQUILEGIA CANADENSIS	RED COLUMBINE	45	1 GAL.	SPACE 18" O.C.
AJ	ASTILBE JAPONICA 'DEUTSCHLAND'	WHITE ASTILBE	60	1 GAL.	SPACE 24" O.C.
AT	ALCHEMILLA MOLLIS 'THRILLER'	LADY'S MANTLE	18	1 GAL.	SPACE 18" O.C.
BA	BAPTISIA AUSTRALIS	FALSE INDIGO	55	1 GAL.	SPACE 24" O.C.
CP	CAREX PENNSYLVANICA	OAK SEDGE	24	1 GAL.	SPACE 10" O.C.
DC	DAUCUS CAROTA	QUEEN ANNE'S LACE	52	1 GAL.	SPACE 10" O.C.
SF	STYLOPHORUM DIPHYLLOM	CELANDINE POPPY	41	1 GAL.	SPACE 4" O.C.
ES	ECHINACEA PURPUREA 'MAGNUS'	ECHINACEA	48	1 GAL.	SPACE 18" O.C.
HB	HOSTA 'BUCKSHAW BLUE'	BUCKSHAW BLUE HOSTA	27	1 GAL.	SPACE 24" O.C.
HJ	HOSTA 'JUNE'	JUNE HOSTA	50	1 GAL.	SPACE 24" O.C.
HO	HOSTA FRANCEE	FRANCEE HOSTA	30	1 GAL.	SPACE 36" O.C.
PKR	PENNISETUM ORIENTALE 'KARLEY ROSE'	ORIENTAL FOUNTAIN GRASS	15	1 GAL.	SPACE 24" O.C.
SS	SALVIA X SYLVESTRIS 'BLUE HILL'	BLUE HILL MEADOW SAGE	70	1 GAL.	SPACE 15" O.C.
SSA	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONE CROP	45	1 GAL.	SPACE 18" O.C.
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	45	1 GAL.	SPACE 12" O.C.



PROJECT: **31 TUFTS**

PROJECT ADDRESS: **STREET 31 TUFTS**

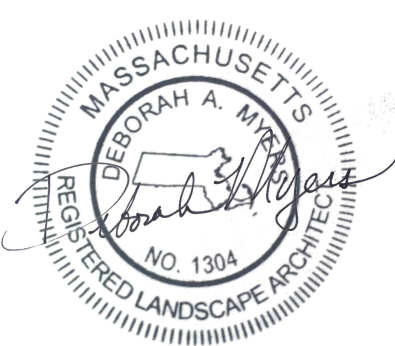
TAX ASSESSOR PARCEL #: **---**

ARCHITECT: **PLACETAILOR, INC.**
103 TERRACE STREET
ROXBURY, MA 02120

CONSULTANTS
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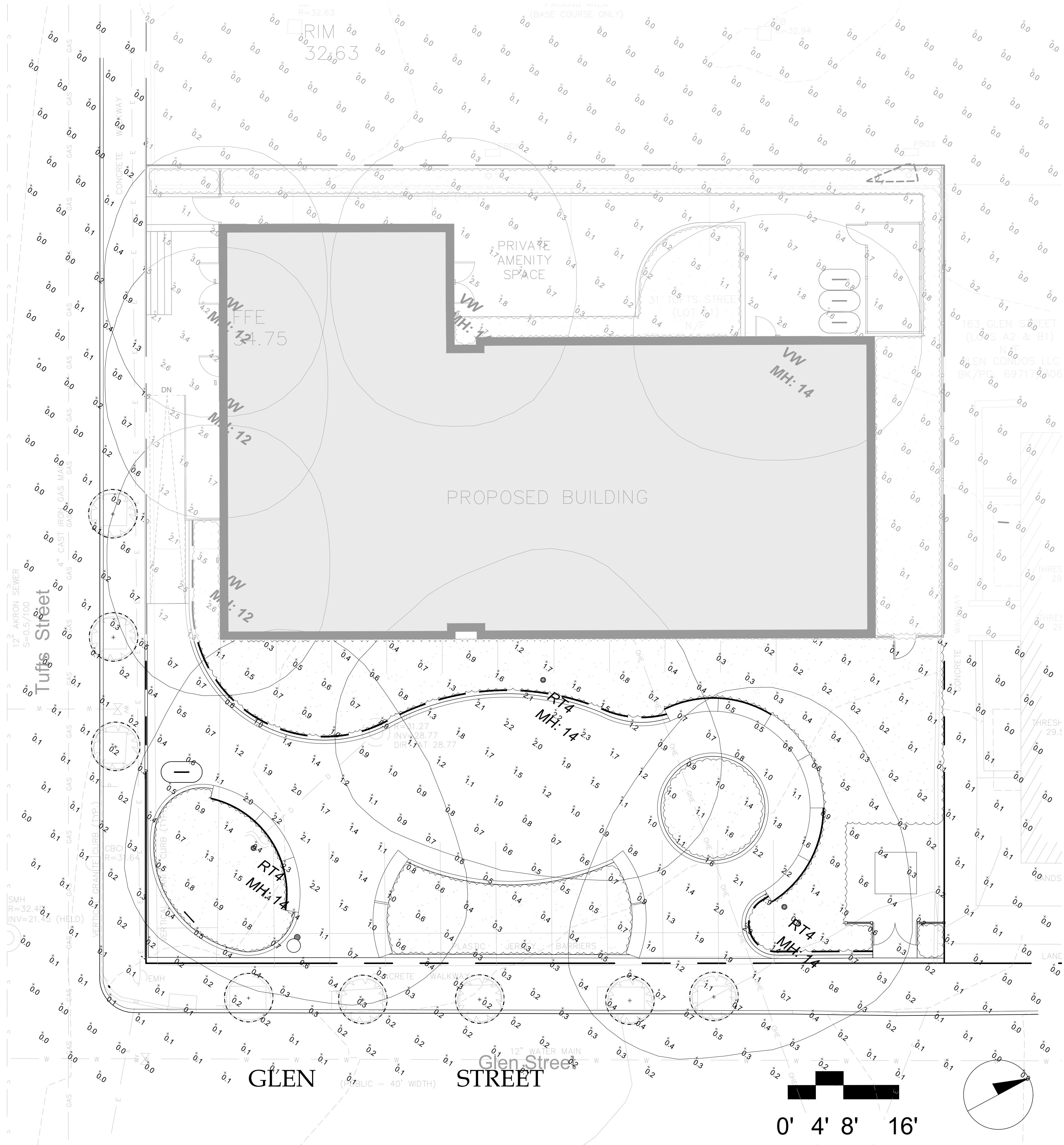
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PLANTING PLAN

L301

Outdoor Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Lumens	LLF	Filename
	6	VW	VWMV-L17-830-TL-xxx-DIM-UNV	1414	0.900	VWMV-L17-830-TL-xxx-SDGL-DIM-UNV-TBOX.ies
	3	RT4	RT403SV2-26L45T4-MDL03	2398	0.900	RT403-SV2-26L45T4-MDL03.IES



RT403SV2-26L45T4-MDL03



VWMV-L17-830-TL-XX-DIM-UNV

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	VW	767357.25	2964706.12	12	34.902	0
2	VW	767341.625	2964703.87	14	125.106	0
3	VW	767299.25	2964683.5	14	34.34	0
4	VW	767270.625	2964664.12	12	214.992	0
5	VW	767278.875	2964652.12	12	214.992	0
6	RT4	767342	2964643.25	14	291.961	0
7	RT4	767389.125	2964635.75	14	185.545	0
8	VW	767293.5	2964631.12	12	214.992	0
9	RT4	767321.125	2964599.75	14	60.233	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.52	4.2	0.0	N.A.	N.A.

OMNI-LITE, INC.

263 WINN STREET BURLINGTON, MA. 01803

PH # 781-272-2300, FAX # 781-272-0759 www.omnilight.com

PROJECT:

31 Tufts Street

CLIENT:

XXX

SCALE: FEET

FILE: omni 31 tufts st 10.adm

DATE: 04/30/2021

SALES PERSON: Paul Abdella

THESE DRAWINGS ARE FOR CONCEPTUAL USE ONLY
AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES
REPRESENTED ARE AN APPROXIMATION GENERATED FROM
DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.



PROJECT: 31 TUFTS

PROJECT ADDRESS: 31 TUFTS

TAX ASSESSOR PARCEL #: ---

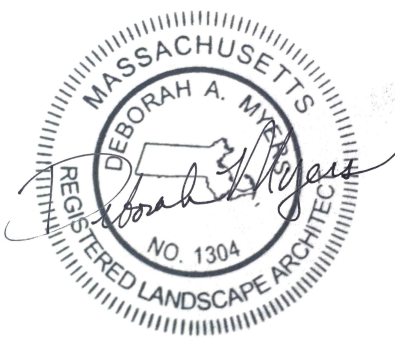
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103 TERRACE STREET
ROXBURY, MA 02120

CONSULTANTS

SURVEYOR / CIVIL ENGINEER
JOYCE CONSULTING GROUP, PC
439 WASHINGTON STREET
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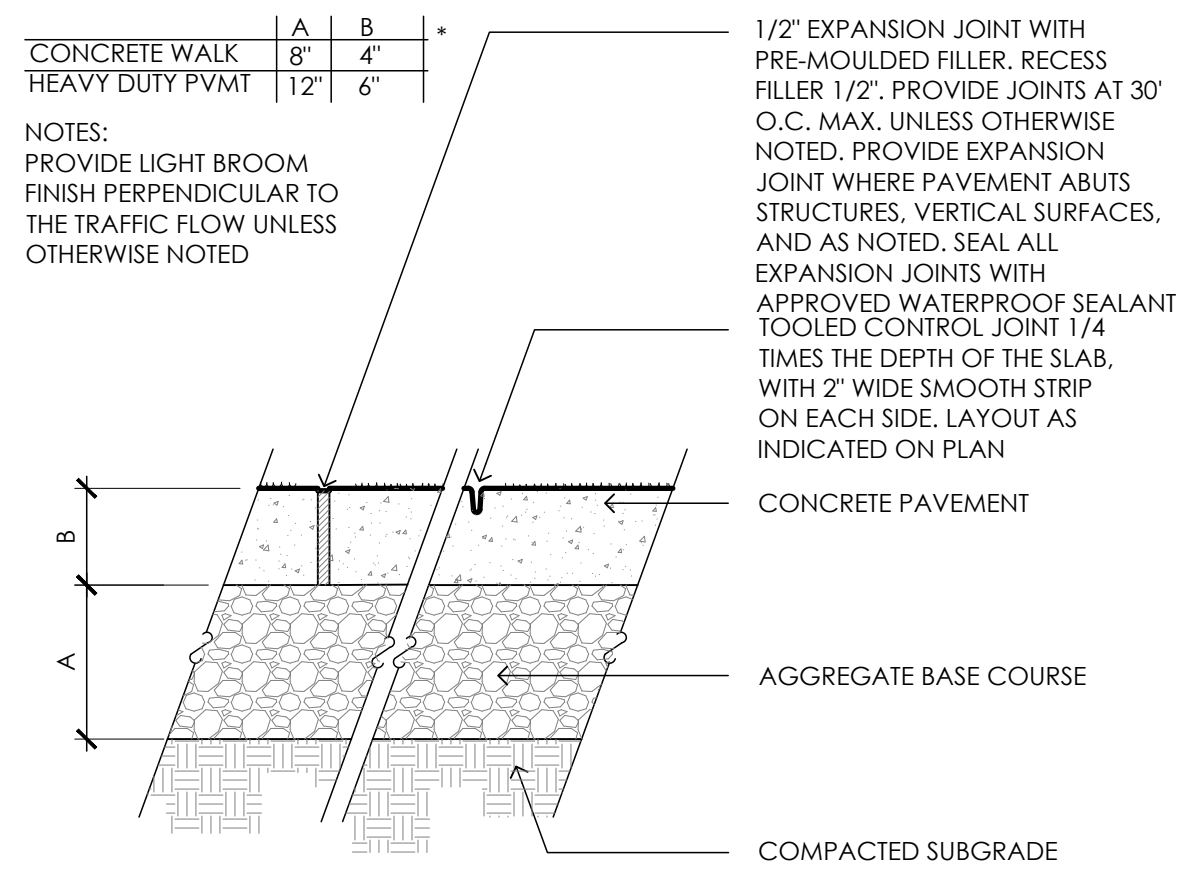
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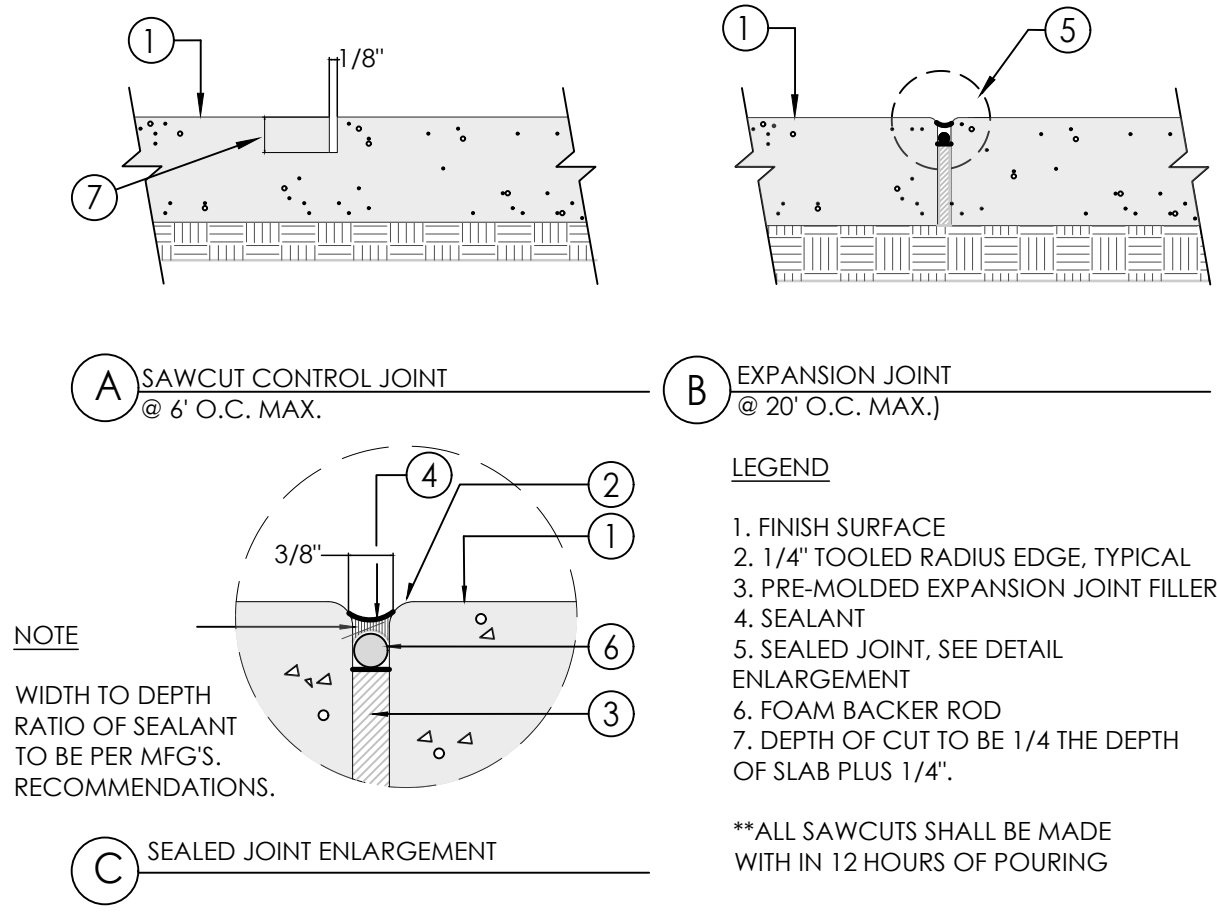
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SITE
PHOTOMETRIC
PLAN

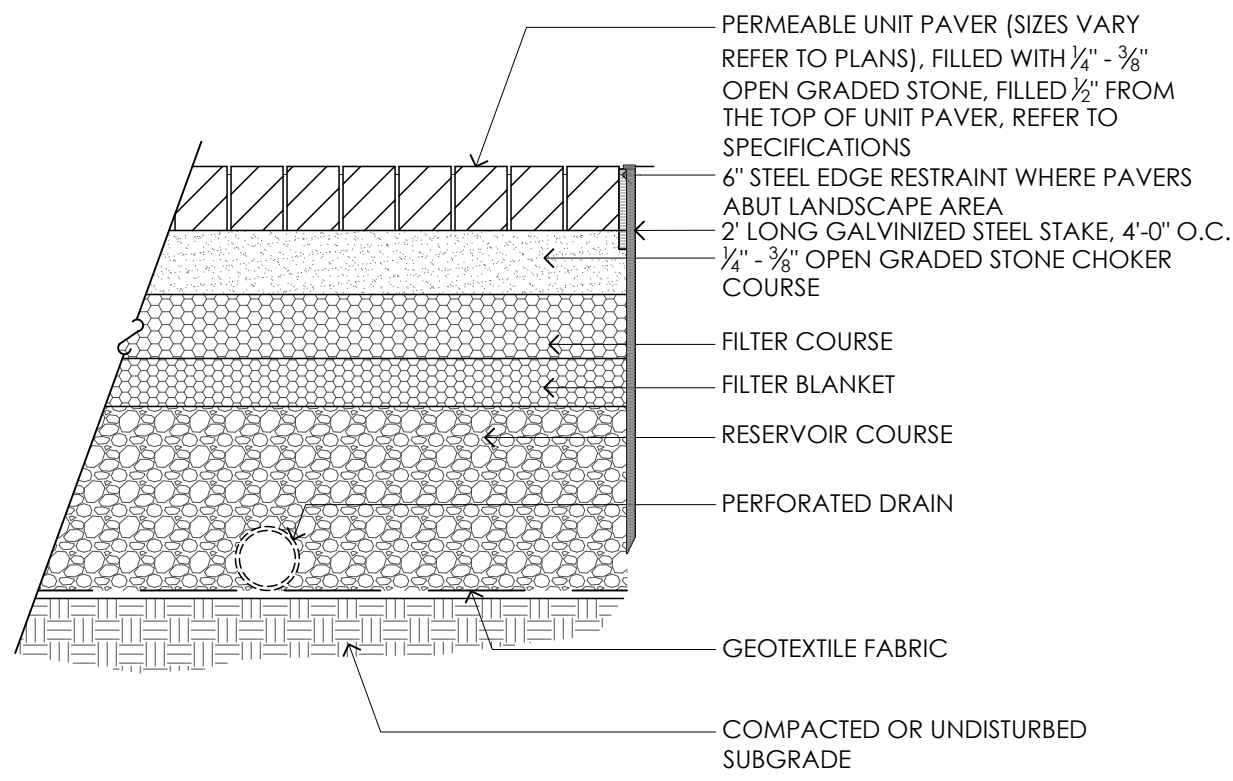
L401



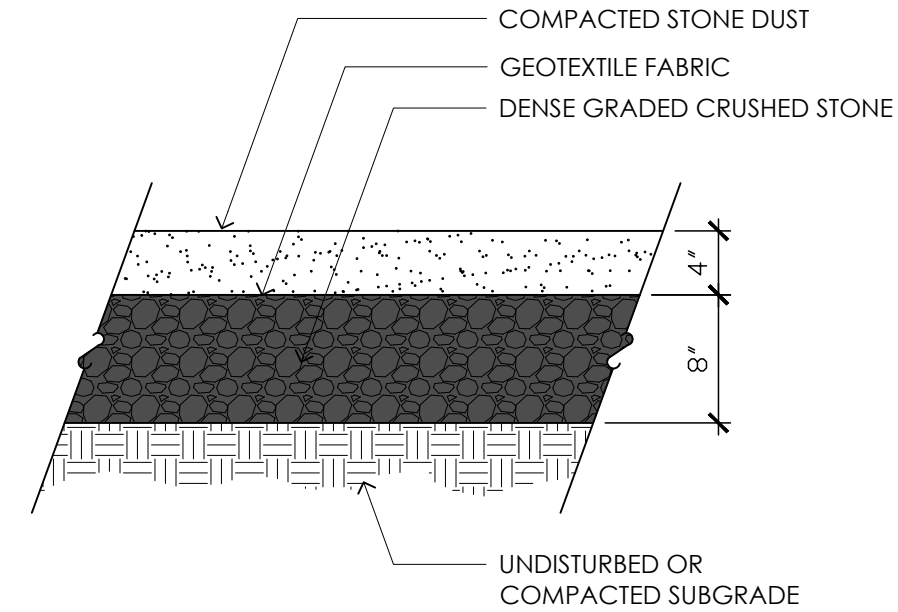
1 CONCRETE PAVEMENT
1" = 1'-0"



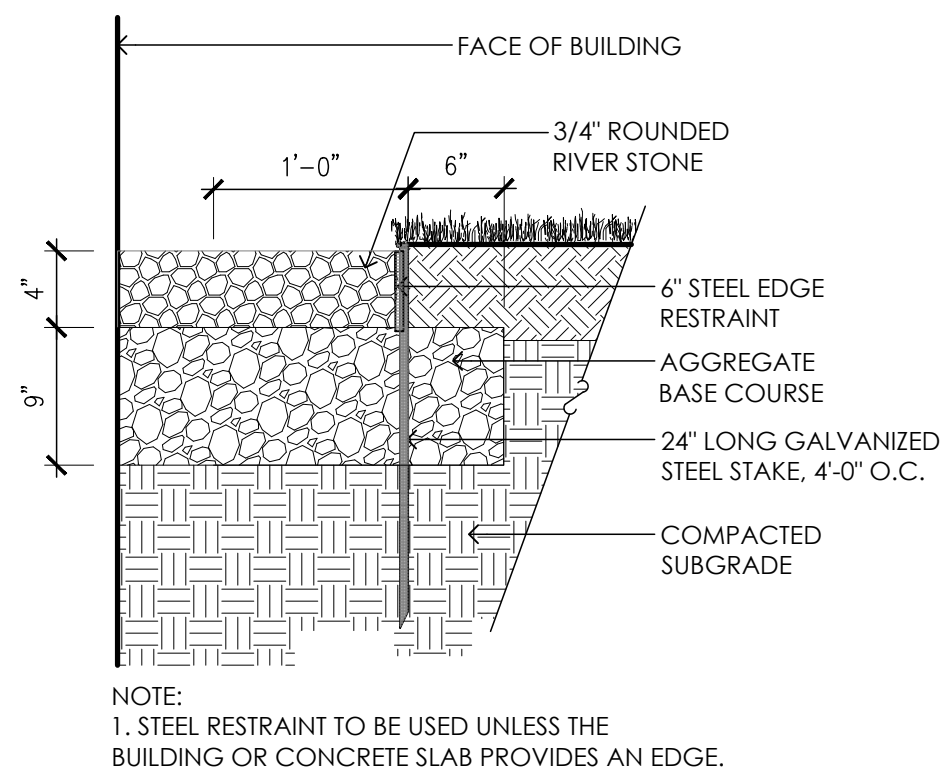
2 CONCRETE PAVEMENT SCORE JOINTS
1" = 1'-0"



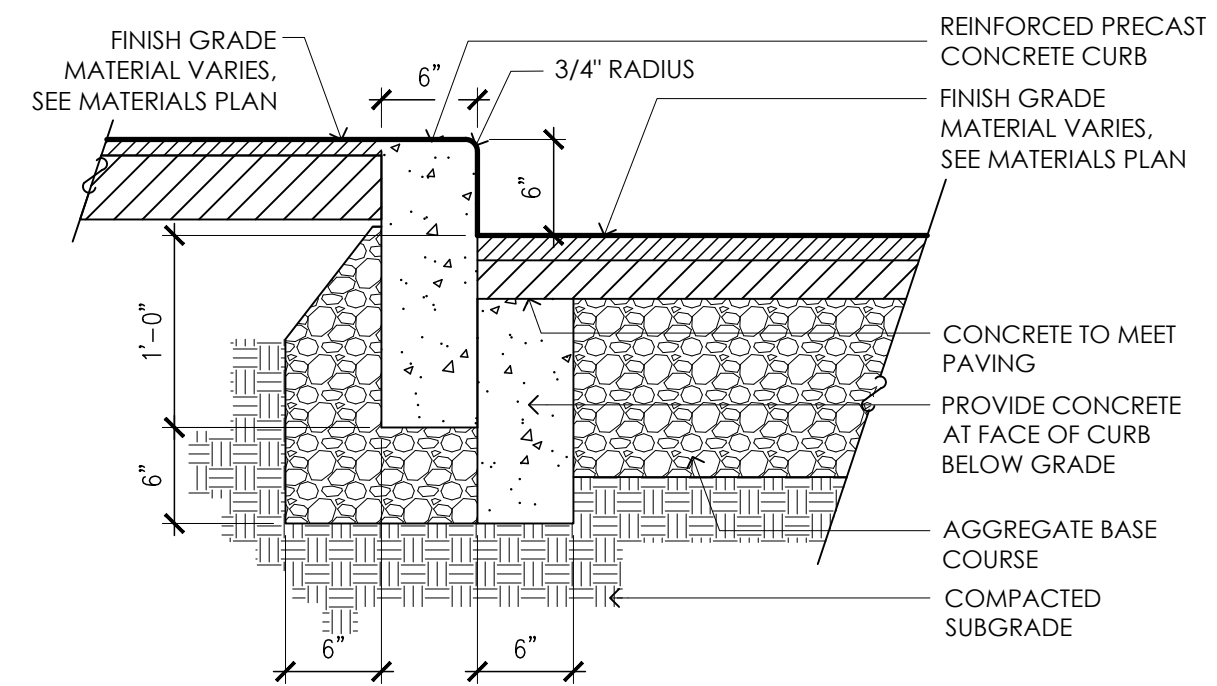
3 POROUS CONCRETE UNIT PAVERS
1" = 1'-0"



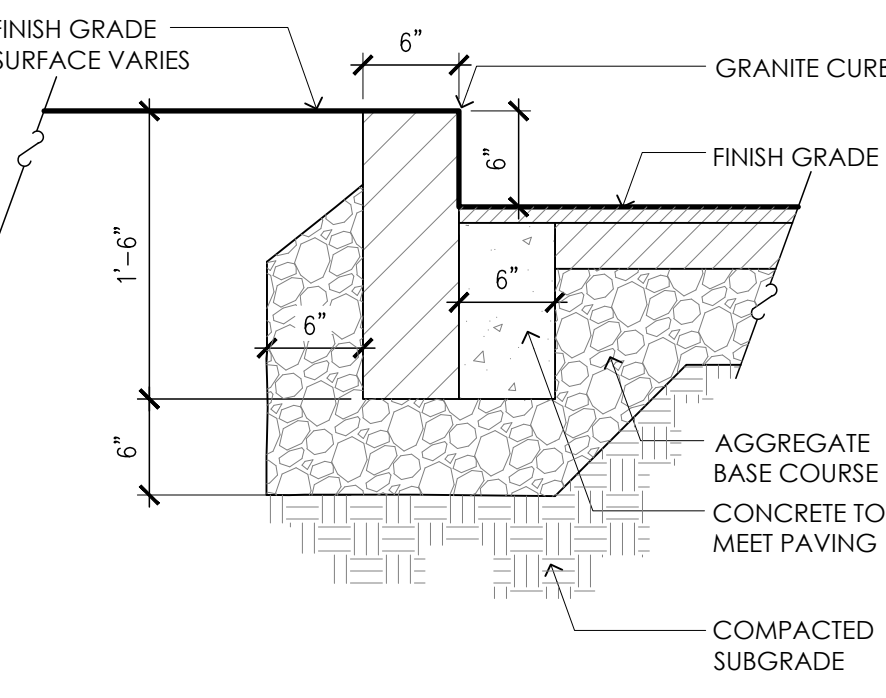
4 STONE DUST PAVING
1" = 1'-0"



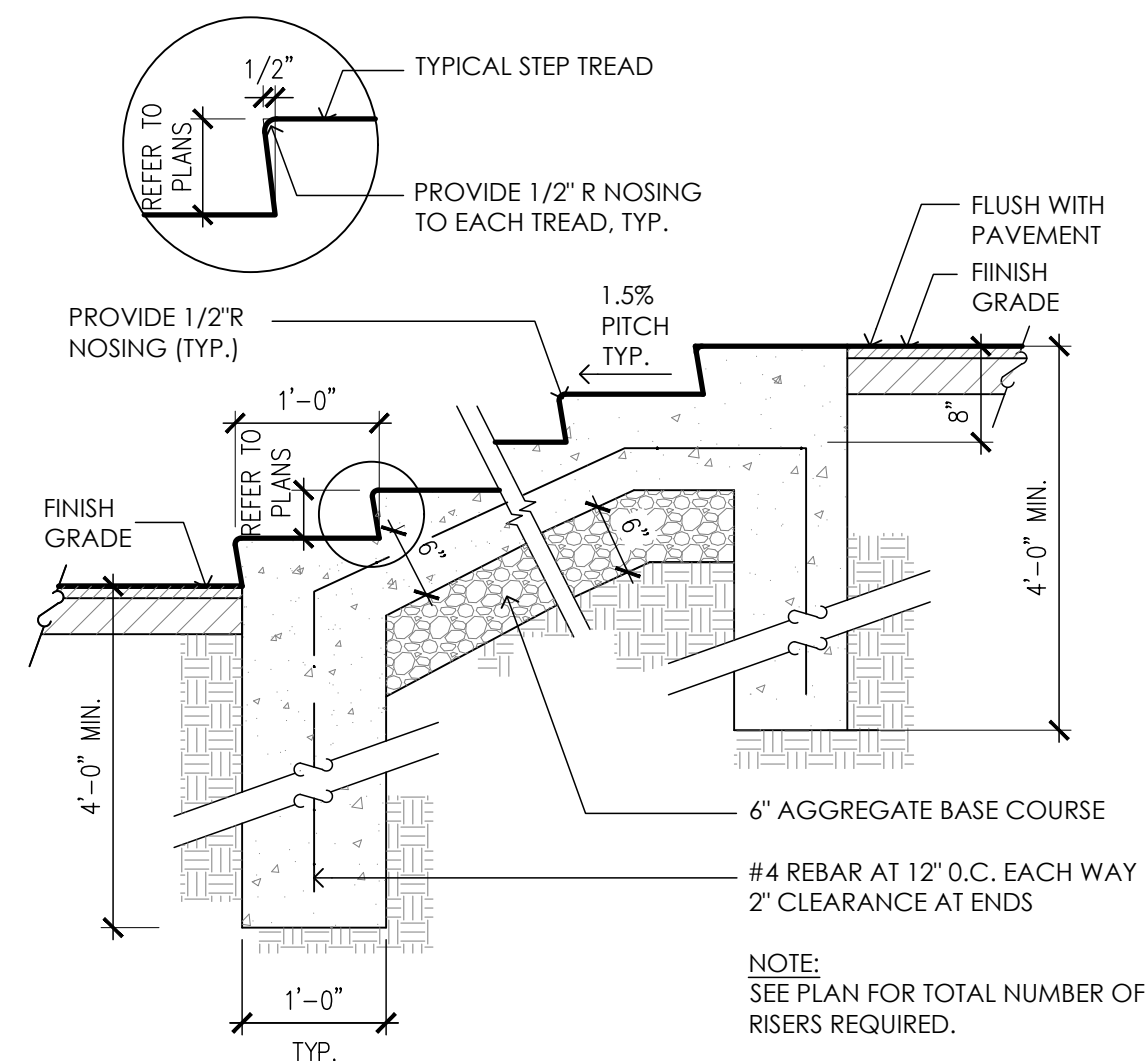
5 STONE DRIP STRIP AT BUILDING FACE
1" = 1'-0"



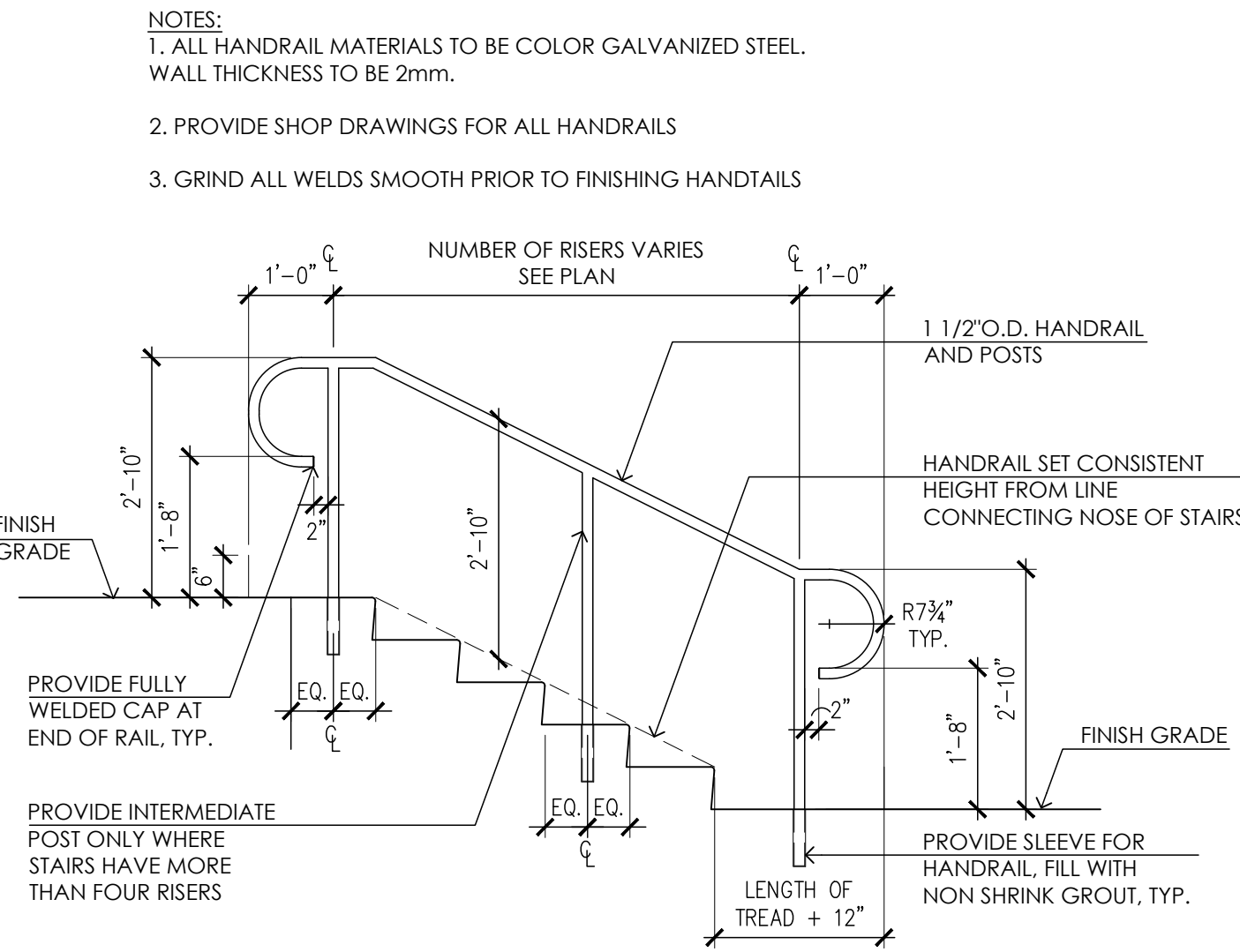
6 CONCRETE CURB
1" = 1'-0"



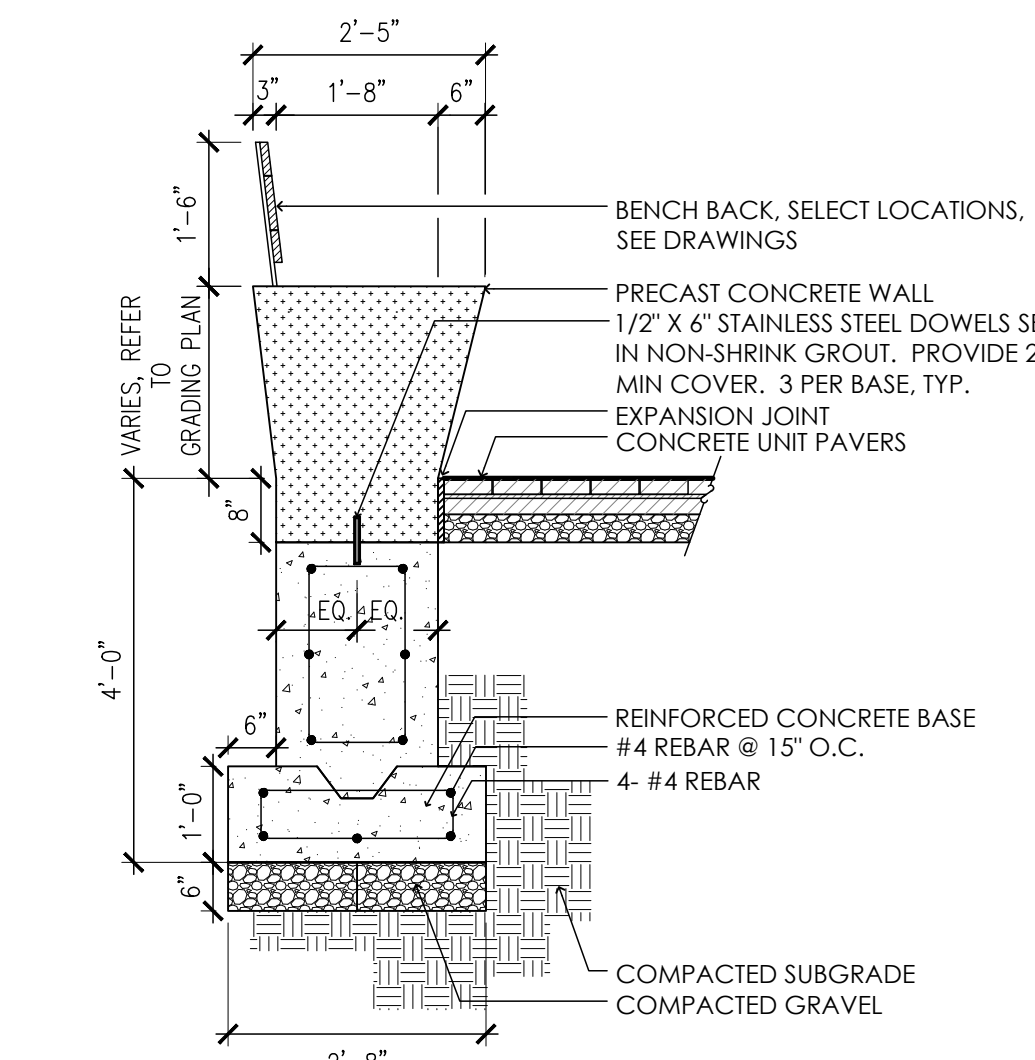
7 GRANITE CURB
1" = 1'-0"



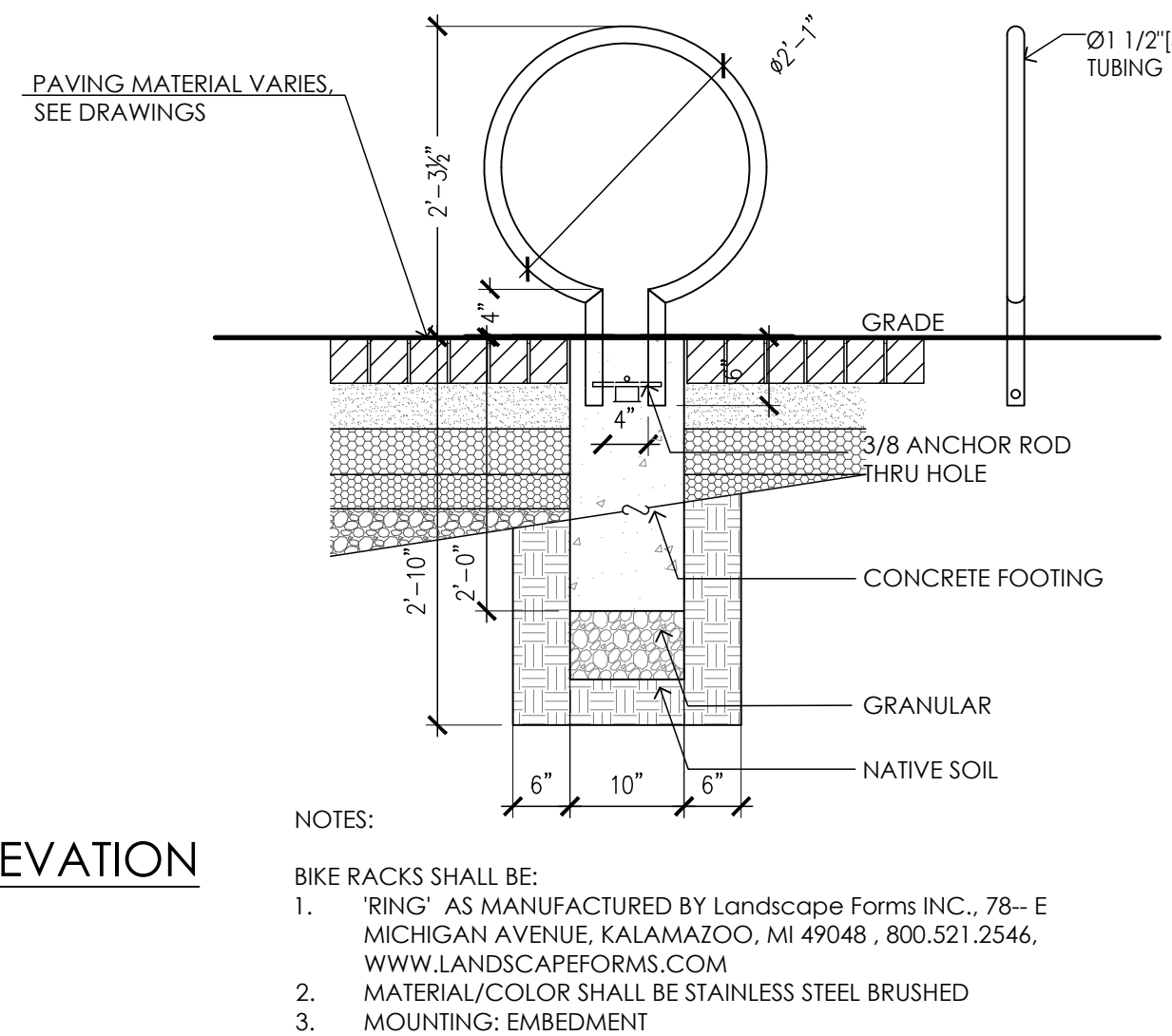
8 CONCRETE STEPS
3/4" = 1'-0"



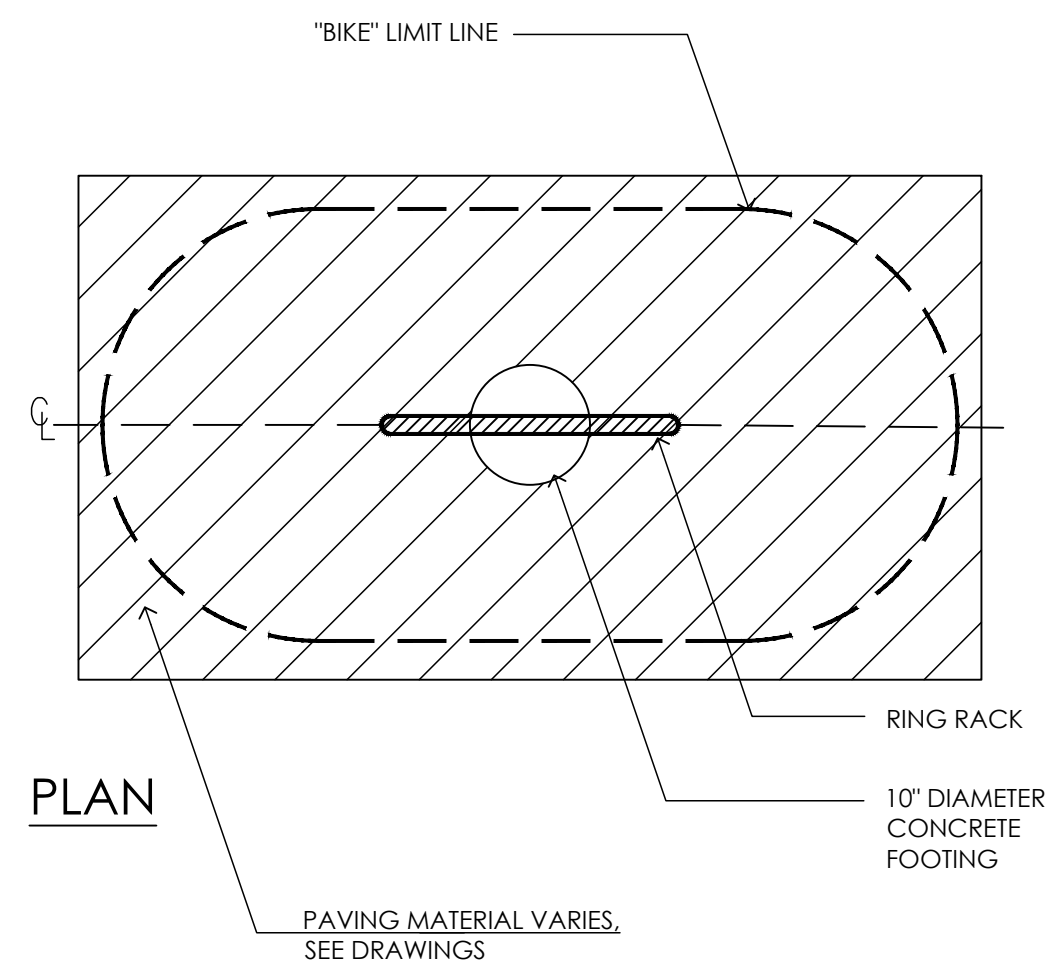
9 HANDRAIL
1/2" = 1'-0"



10 PRECAST CONCRETE SEAT WALL
1/2" = 1'-0"



11 BIKE RACK
3/4" = 1'-0"



PROJECT: **31 TUFTS**

PROJECT ADDRESS: **STREET 31 TUFTS**

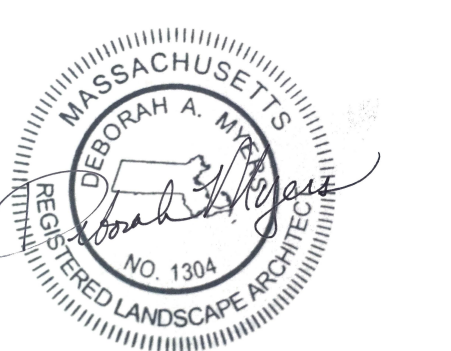
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CONSULTANTS
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439 WASHINGTON STREET
THIRD FLOOR
BRAINTREE, MA 02184

DMLA
DEBORAH MYERS LANDSCAPE ARCHITECTURE
60 GARDEN STREET, FLOOR 10, NEWTON, MA 02459

CLIENT **E3 DEVELOPMENT, LLC**
40 HOMER STREET
NEWTON, MA 02459



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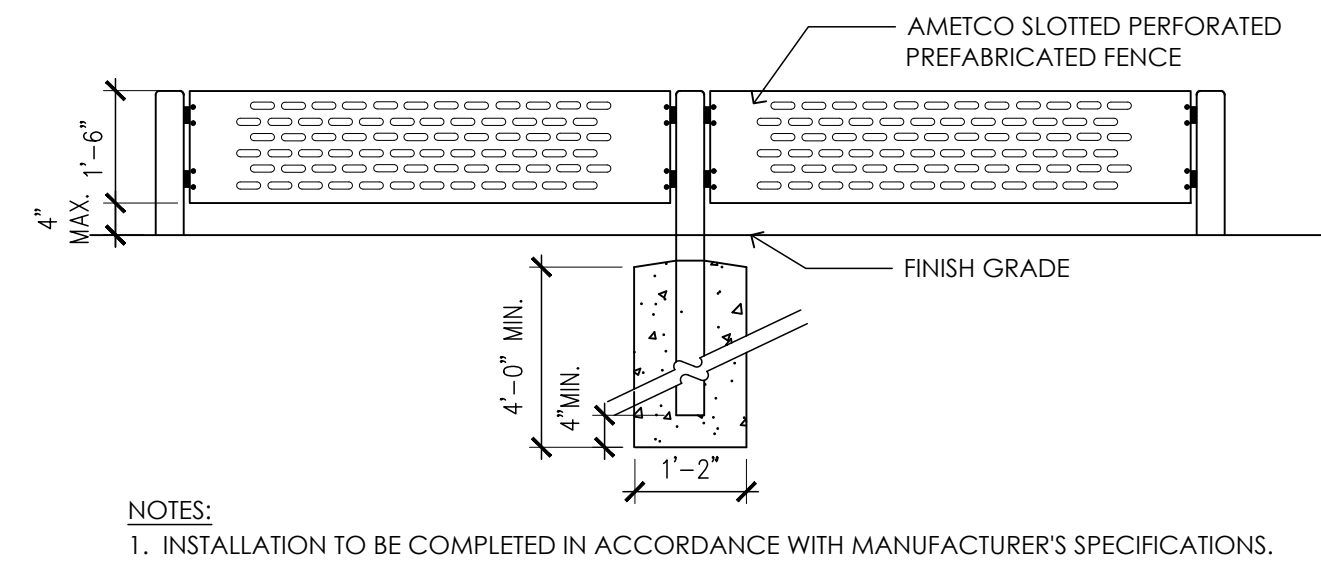
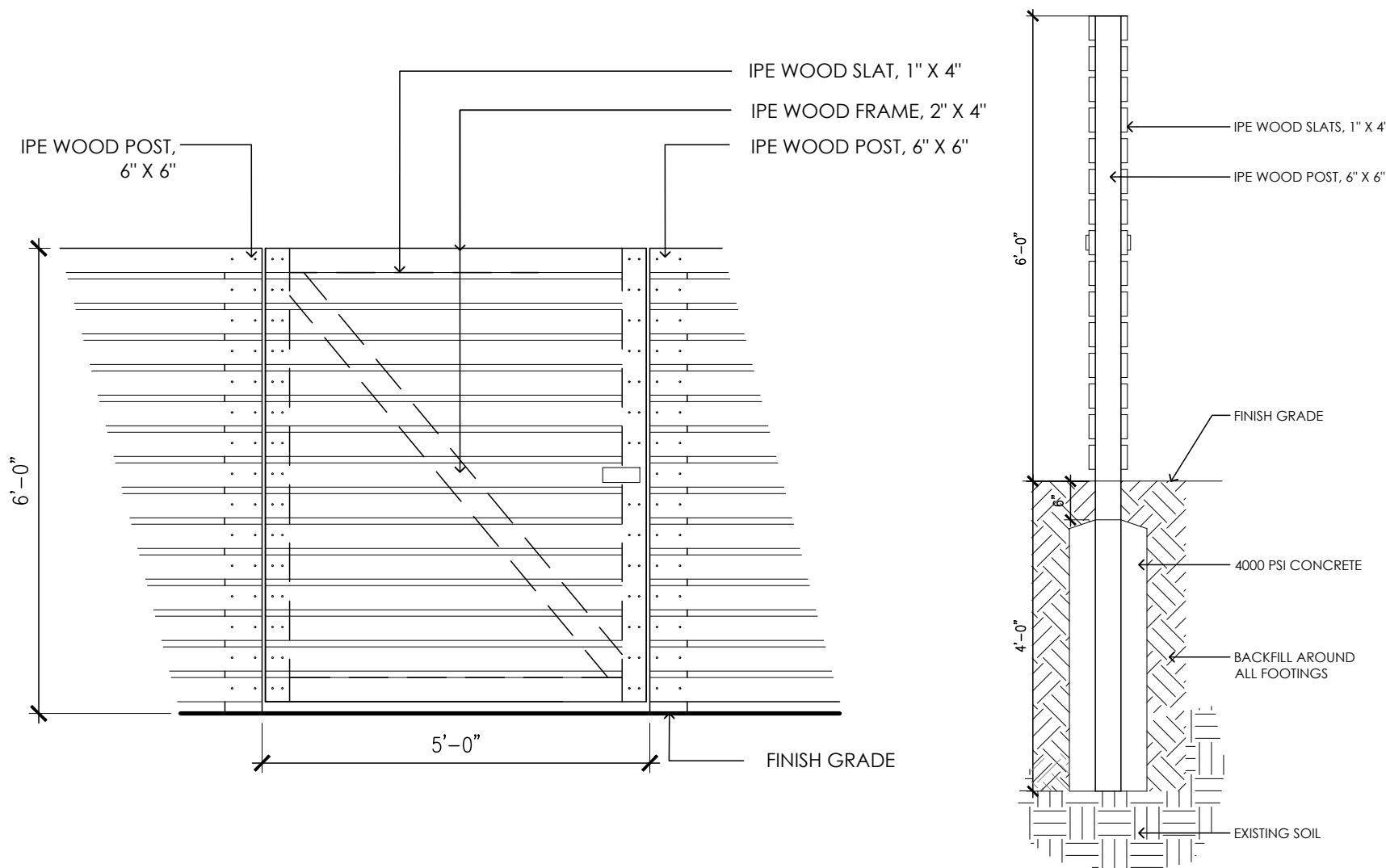
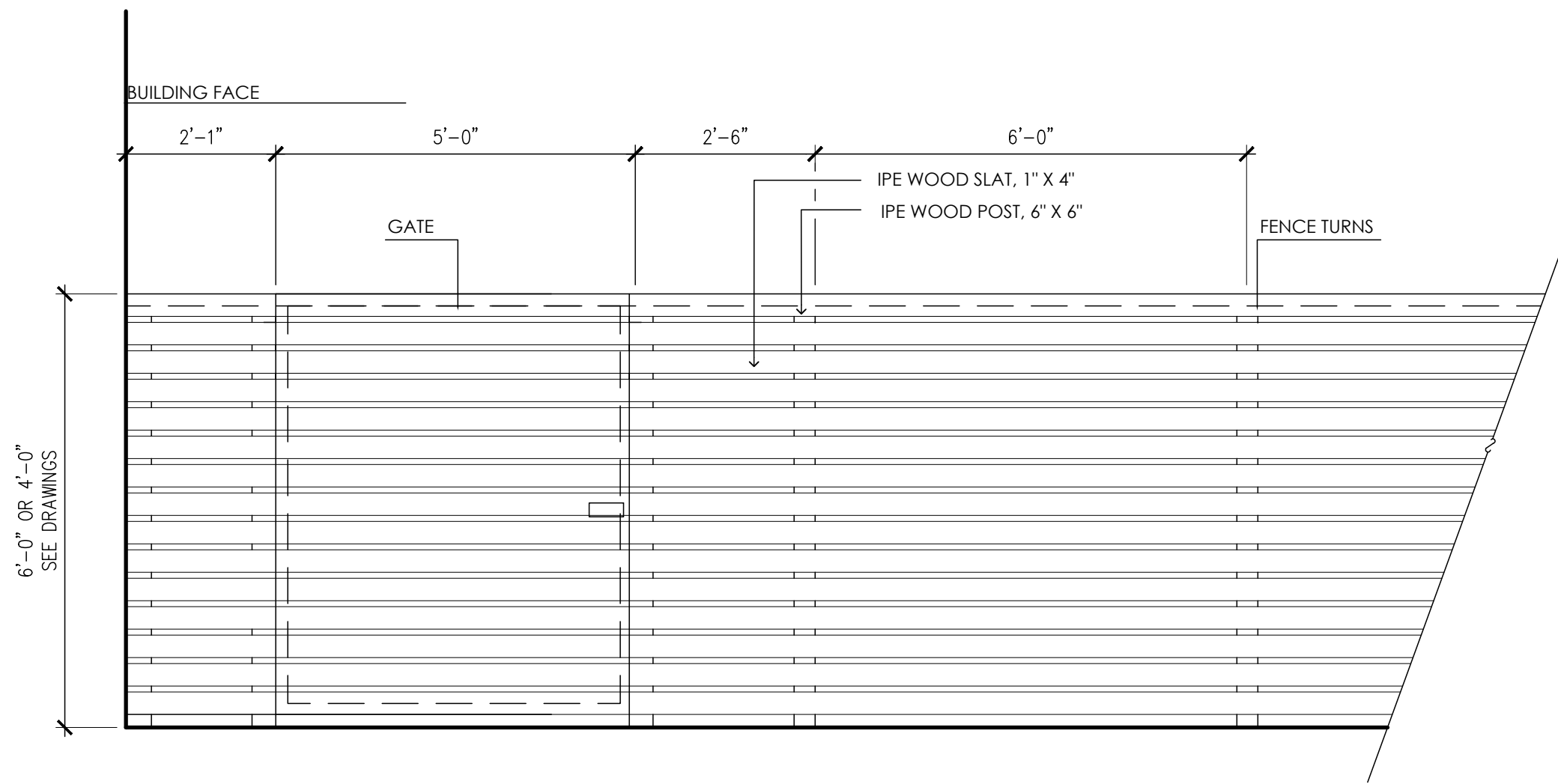
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SITE DETAILS

L501

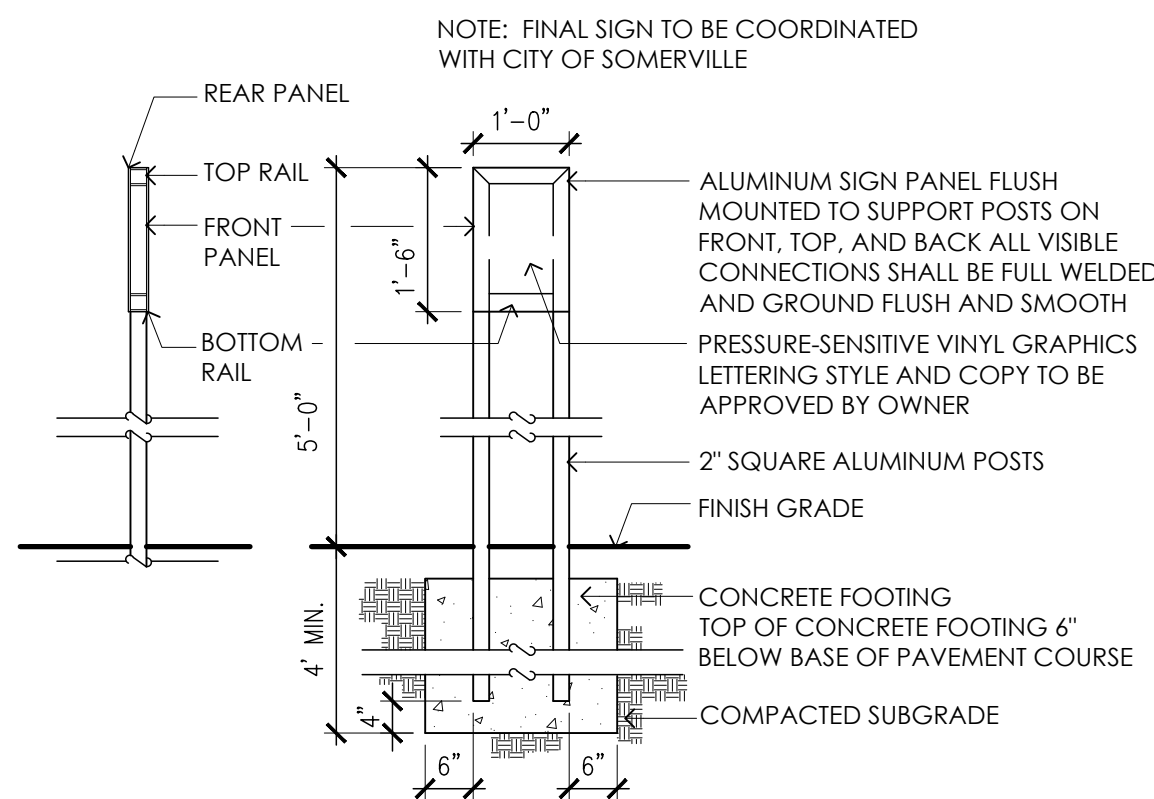


1 WOOD FENCE AND GATE

NTS

2 18" HIGH DECORATIVE FENCE, FINISH TBD

1/2" = 1'-0"



3 OPEN SPACE SIGN

1/2" = 1'-0"

4 ADIRONDACK CHAIR, COLOR TBD

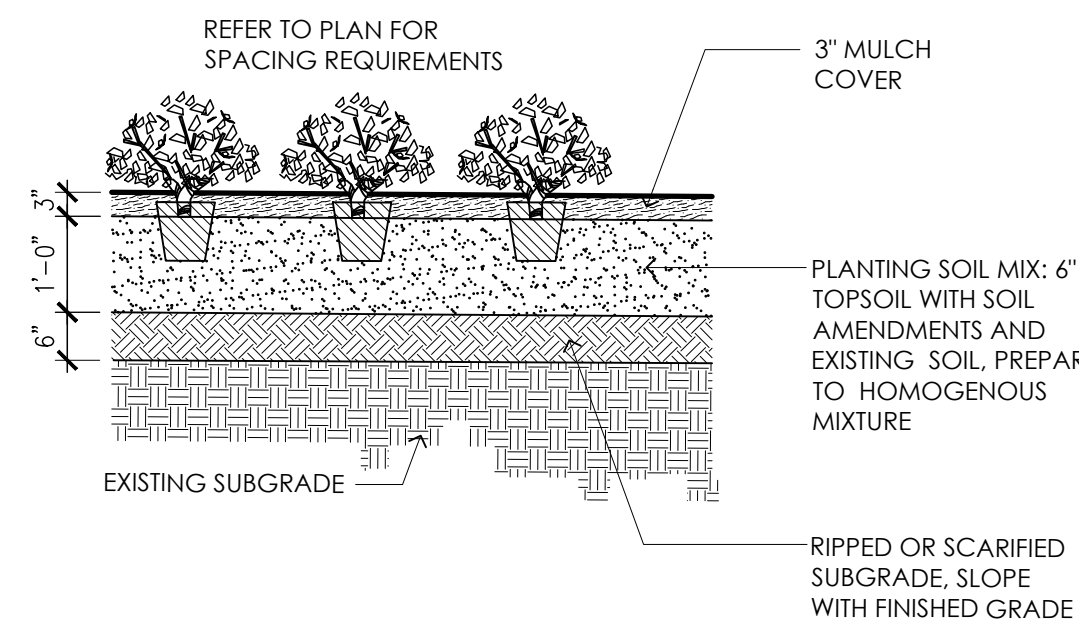
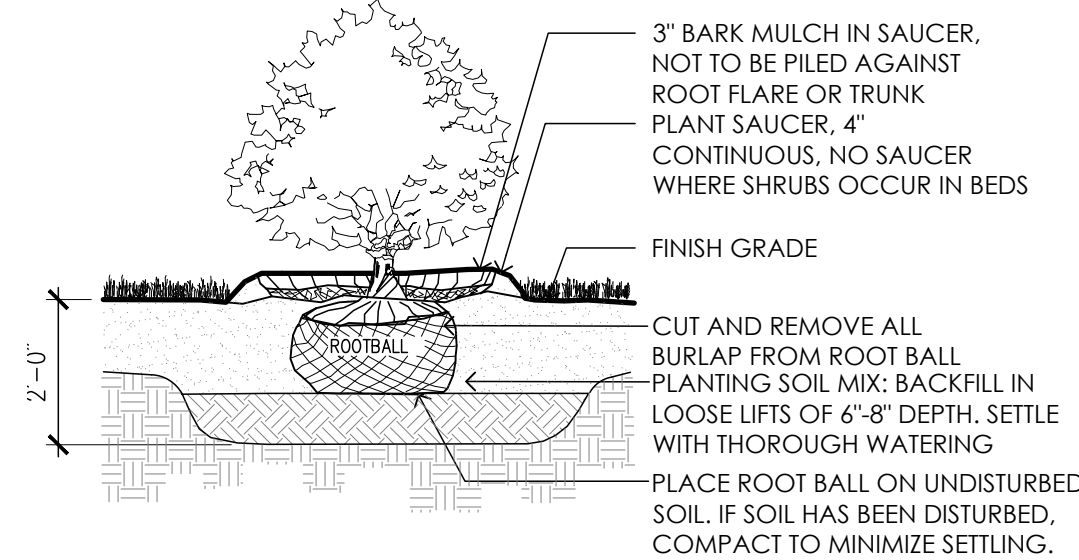
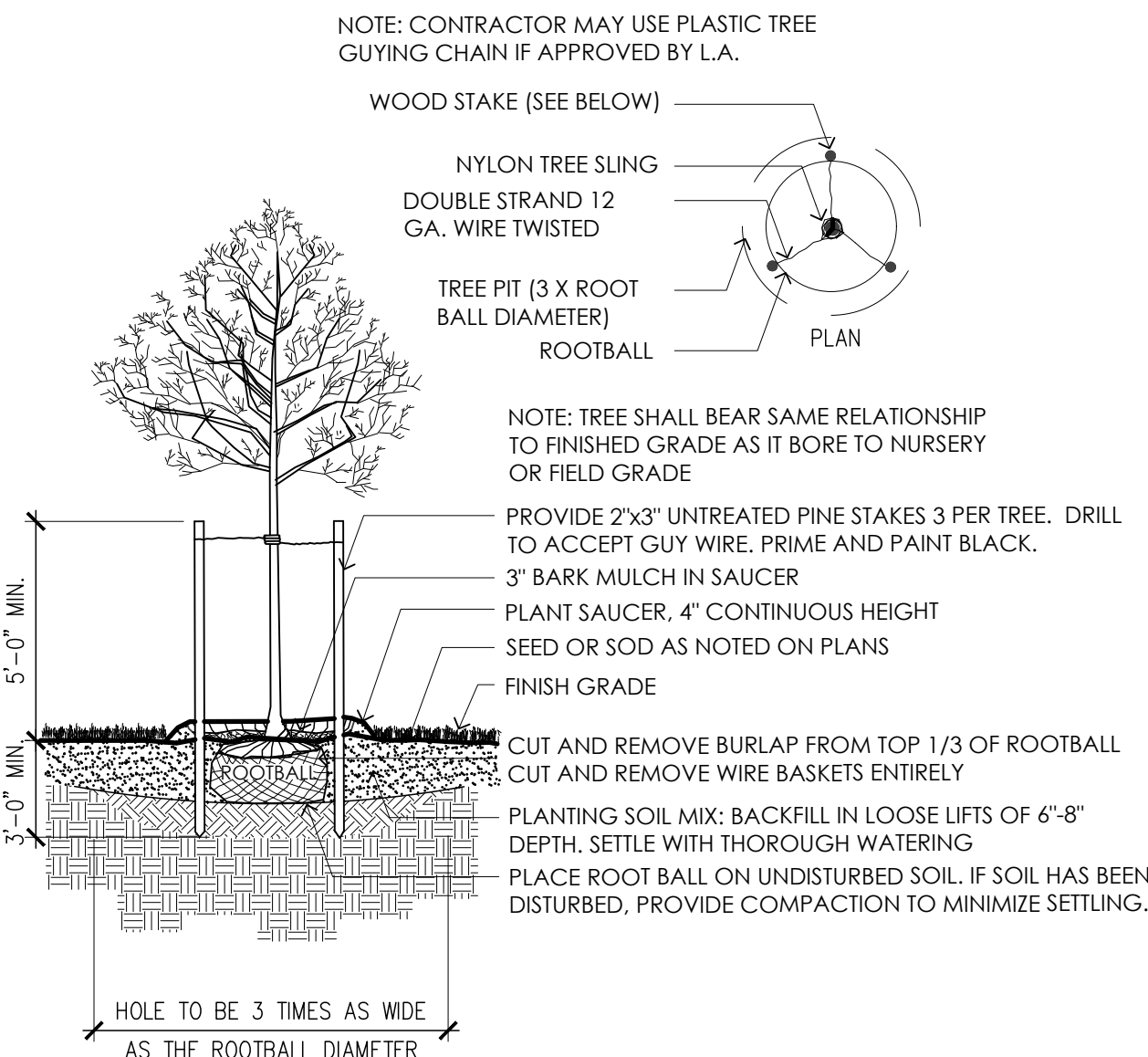
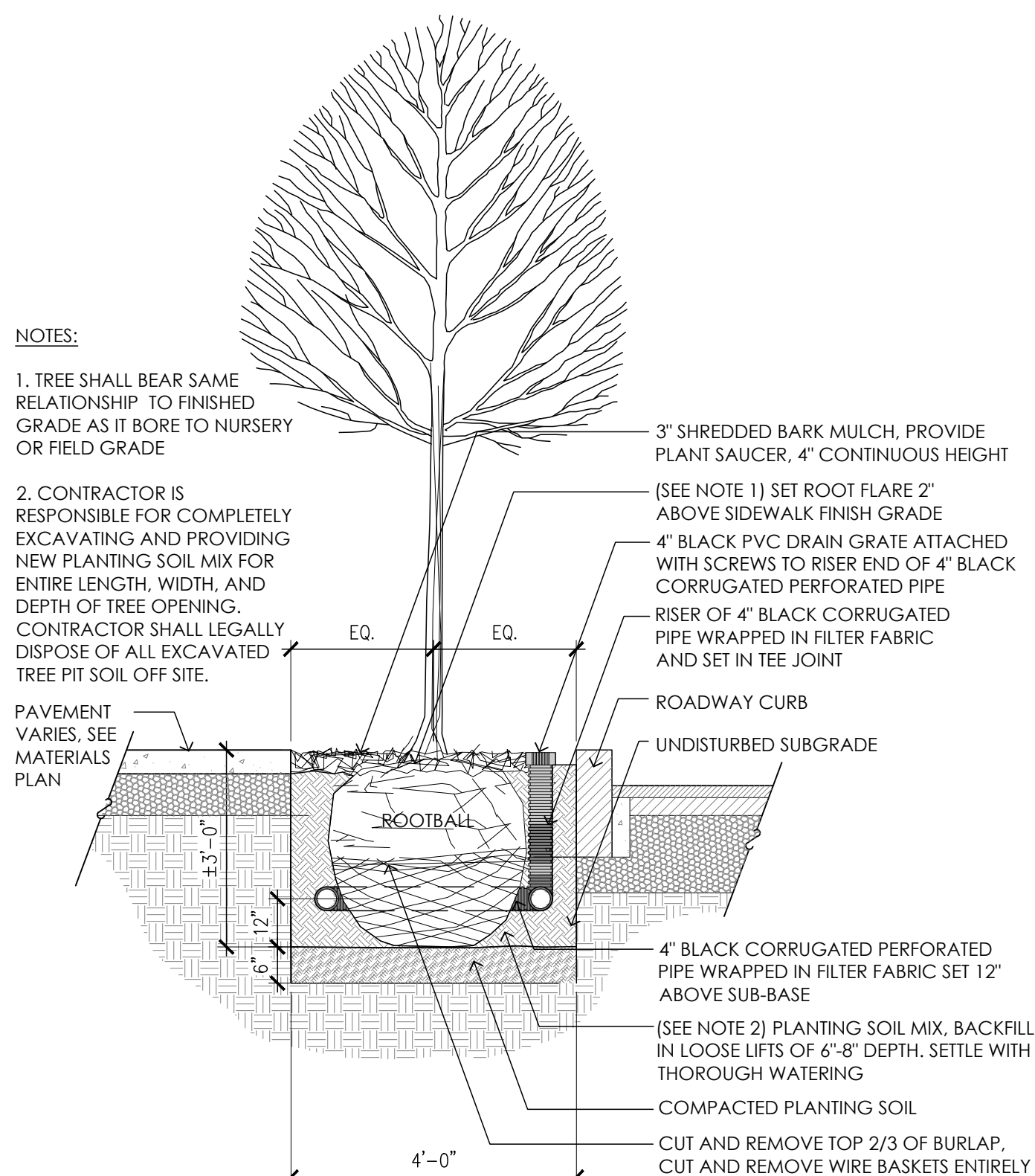
NTS

5 PICNIC TABLE AND BENCHES

NTS

6 WATER FOUNTAIN W/ DOG BOWL, COLOR TBD

NTS



7 TYPICAL TREE PIT PLANTING

1/2" = 1'-0"

8 TYPICAL DECIDUOUS TREE PLANTING

1/4" = 1'-0"

9 TYPICAL SHRUB PLANTING

3/8" = 1'-0"

10 TYPICAL PERENNIAL AND GROUND COVER PLANTING

1/2" = 1'-0"



PROJECT: **31 TUFTS**

PROJECT ADDRESS: **STREET 31 TUFTS**

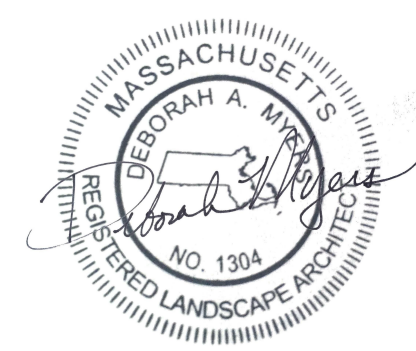
TAX ASSESSOR PARCEL #: **---**

ARCHITECT: **PLACETAILEOR, INC.**
103 TERRACE STREET
ROXBURY, MA 02120

CONSULTANTS
SURVEYOR / CIVIL ENGINEER
JOYCE CONSULTING GROUP, PC
439 WASHINGTON STREET
THIRD FLOOR
BRAINTREE, MA 02184

DMLA
DEBORAH MYERS LANDSCAPE ARCHITECTURE
60 GLEN ROAD, FLOS, MASSACHUSETTS 01920

CLIENT: **E3 DEVELOPMENT, LLC**
40 HOMER STREET
NEWTON, MA 02459



MARK	DATE	DESCRIPTION
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SUBMISSION DATE: **05/26/2021**

Site Plan Approval Submission

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2020-10-19 08:19:37

SITE DETAILS

L502